

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER
DO NOT SCALE ANY OF THE DRAWING SHEETS
THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER



GARTNER'S CUSTOM HOUSE DESIGNS
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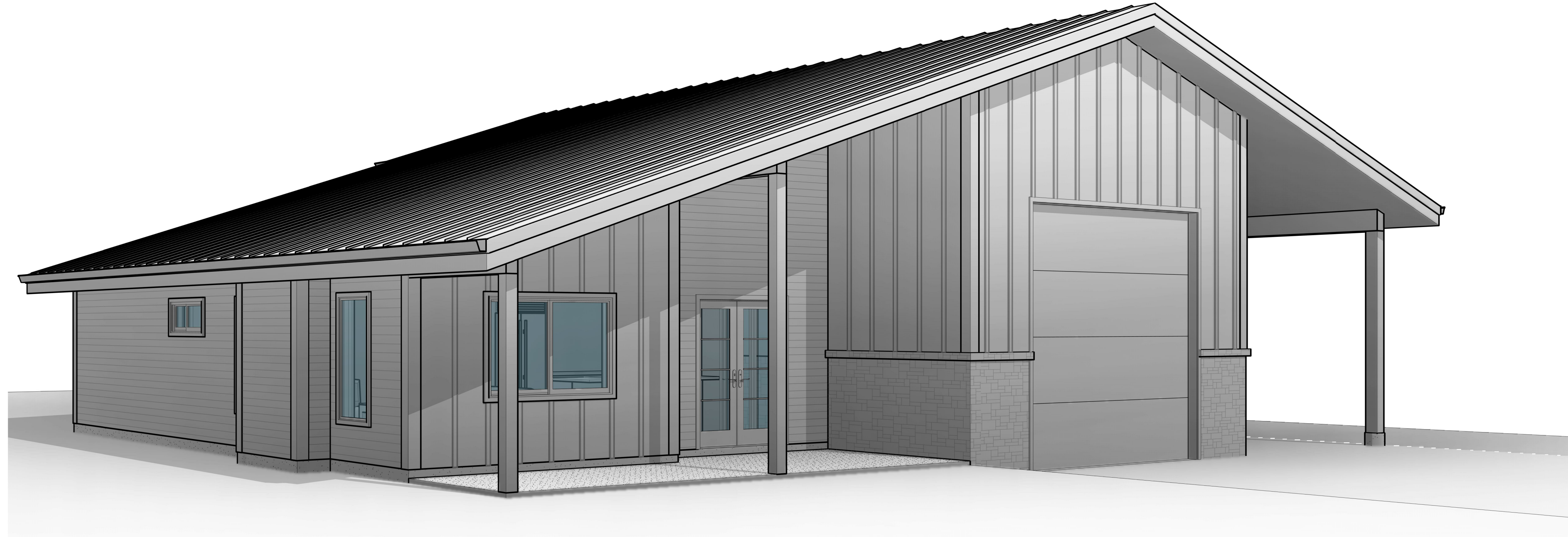
KILBACK RESIDENCE

CONTACTS & DRAWING INDEX

GARTNER'S CUSTOM HOUSE DESIGNS
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- A001 COVER PAGE & DRAWING INDEX
- A002 ASSEMBLIES & ENERGY EFFICIENCY
- A003 GENERAL NOTES & INSULATION DETAILS
- A101 SITE PLAN & SITE INFORMATION
- A201 FOUNDATION PLAN & RADON DETAILS
- A202 MAIN FLOOR PLAN
- A203 LOFT PLAN
- A204 ROOF PLAN
- A301 NORTH & EAST ELEVATIONS
- A302 SOUTH & WEST ELEVATIONS
- A401 SECTIONS
- A402 SECTIONS 2
- A501 AIR TIGHTNESS DETAILS

RESIDENTIAL BUILDING PERMIT DRAWINGS REGARDING:
380 WHITE LAKE ROAD, CAWSTON, BRITISH COLUMBIA
LEGAL DESCRIPTION: LOT 6, PLAN KAP58896, SECTION 10, TOWNSHIP 88,
SIMILKAMEEN DIV OF YALE LAND DISTRICT, EXCEPT PLAN KAP80746



THIS PLAN AND DESIGN IS AND AT ALL TIMES
REMAINS THE EXCLUSIVE PROPERTY OF
GARTNER'S CUSTOM HOUSE DESIGNS (GCHD)
AND MAY NOT BE USED OR DUPLICATED
WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD
SHALL BE INFORMED OF ANY VARIATIONS FROM
INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE
VERIFICATION OF ALL DIMENSIONS AND SITE
CONDITIONS PRIOR TO ANY CONSTRUCTION OR
FABRICATION. ANY DISCREPANCIES ARE TO BE
BROUGHT TO THE IMMEDIATE ATTENTION OF THE
DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE
DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE
ADDITIONAL INFORMATION NEEDED OR THERE
MIGHT BE A BETTER WAY TO BUILD. GCHD
WOULD LIKE TO HEAR ABOUT IT.
LET US KNOW IF THESE DRAWINGS CAN BE MADE
BETTER FOR YOU.

| NO. | DATE | REVISION |
|-----|------------|--------------|
| 1 | 06/07/2022 | Issue for BP |
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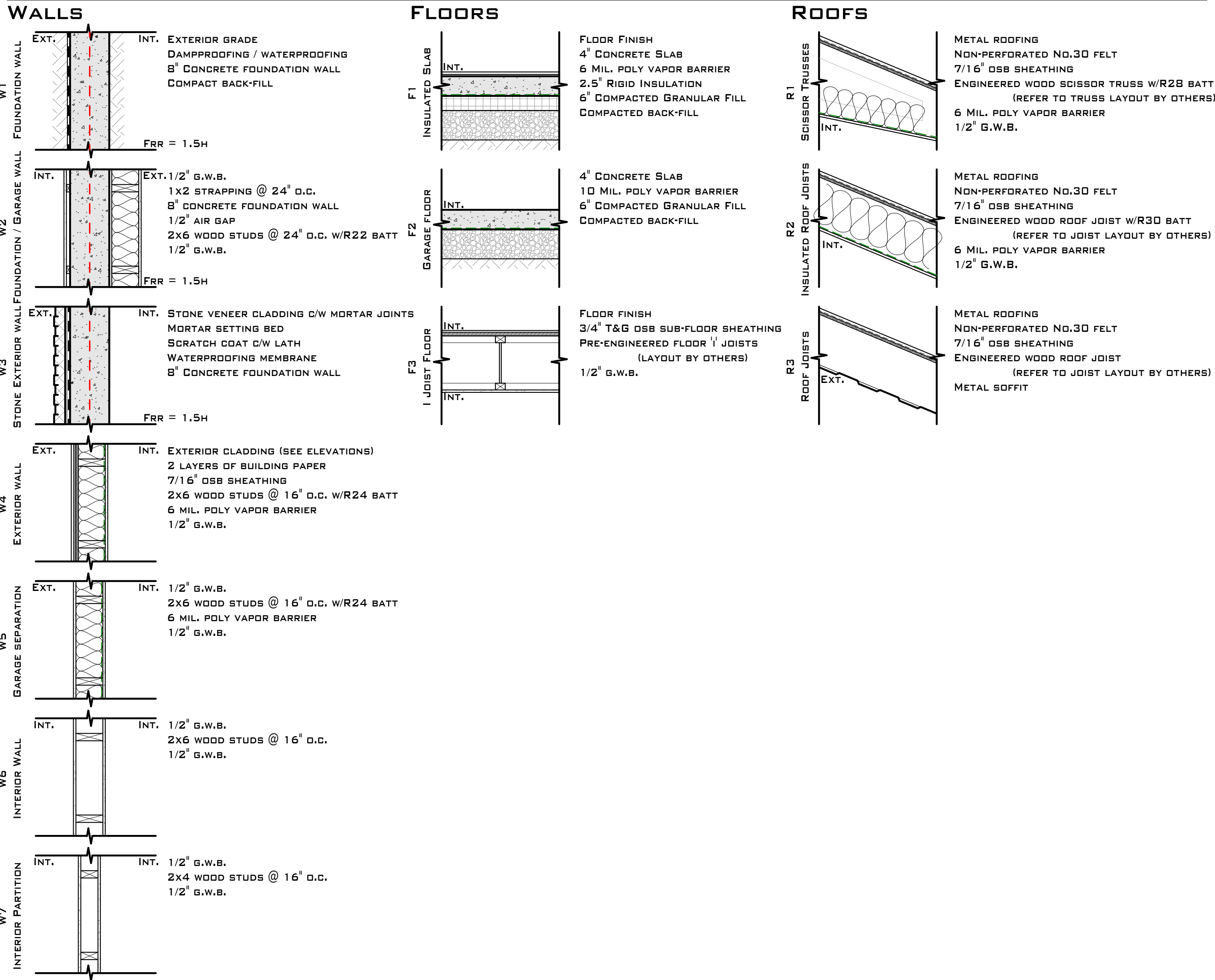
DATE: JUNE 7, 2022
JOB NO.: 220402
SCALE:

PROJECT TITLE
**KILBACK
RESIDENCE**

SHEET NUMBER
A001

DRAWING TITLE
**COVER PAGE &
DRAWING INDEX**

ASSEMBLIES (ZONE 5, HRV INSTALLED)



ZONE 5

REQUIRED RSI ASSEMBLIES:

| WITHOUT HRV | PROPOSED | |
|---------------------------------------|----------|-------------|
| CEILING BELOW ATTICS: | 8.67 | N/A |
| CATHEDRAL CEILING & FLAT ROOFS | 4.67 | 5.14 & 5.00 |
| EXTERIOR WALLS (INCLUDING RIM JOISTS) | 3.08 | 3.18 |
| GARAGE / DWELLING WALL ASSEMBLIES | 2.92 | 3.51 & 2.97 |
| FLOORS OVER UNHEATED SPACES | 4.67 | N/A |
| FOUNDATION WALLS | 2.98 | N/A |
| FLOORS ON GROUND (SLAB ON GRADE) | 1.96 | 2.40 |
| HEATED FLOORS | 2.32 | N/A |
| UNHEATED FLOORS (ABOVE FROST LINE) | 1.96 | N/A |

PROJECT RSI VALUES FOR REQUIRED ASSEMBLIES

| ASSEMBLY | RSI | R | ASSEMBLY | RSI | R | ASSEMBLY | RSI | R |
|--------------------------------------|------|------|----------------------------|-------------|-------------|------------------------------------|-------------|--------------|
| W2- FOUNDATION / GARAGE WALL | | | F1- INSULATED SLAB | | | R1 - SCISSOR TRUSSES | | |
| INTERIOR AIR FILM | 0.00 | 0.00 | INTERIOR AIR FILM | 0.16 | 0.91 | EXTERIOR AIR FILM | 0.03 | 0.17 |
| 1/2" G.W.B. | 0.08 | 0.45 | FLOOR FINISH | 0.00 | 0.00 | METAL ROOFING | 0.00 | 0.00 |
| 1X2 STRAPPING @ 24" O.C. | 0.00 | 0.00 | 4" CONCRETE SLAB | 0.04 | 0.23 | NON-PERFORATED NO.30 FELT | 0.00 | 0.00 |
| 8" CONCRETE FOUNDATION WALL | 1.50 | 1.50 | 2.5" XPS RIGID INSULATION | 2.20 | 10.00 | 7/16" OSB SHEATHING | 0.11 | 0.62 |
| 1/2" AIR GAP | 0.00 | 0.00 | 6" COMPACTED GRANULAR FILL | 0.00 | 0.00 | ENG. ROOF TRUSSES W/R28 BATT | 4.81 | 27.31 |
| 2X6 WOOD STUDS @ 24" O.C. W/R22 BATT | 1.50 | 1.50 | 1/2" G.W.B. | 0.08 | 0.45 | 6 MIL. POLY VAPOR BARRIER | 0.00 | 0.00 |
| 1/2" G.W.B. | 0.08 | 0.45 | COMPACTED BACK-FILL | 0.00 | 0.00 | 1/2" G.W.B. | 0.08 | 0.45 |
| FR = 1.5H | | | EXTERIOR AIR FILM | 0.12 | 0.68 | INTERIOR AIR FILM (CEILING) | 0.11 | 0.62 |
| | | | TOTAL | 2.40 | 11.1 | TOTAL | 5.14 | 29.17 |
| | | | REQUIRED | 1.96 | 11.1 | REQUIRED | 4.67 | 26.5 |

| ASSEMBLY | RSI | R |
|-------------------------------------|-------------|--------------|
| W4- EXTERIOR WALL | | |
| EXTERIOR AIR FILM | 0.03 | 0.17 |
| 1/2" G.W.B. | 0.08 | 0.45 |
| FIBER-CEMENT CLADDING & AIR CAVITY | 0.18 | 1.02 |
| 2 LAYERS OF BUILDING PAPER | 0.00 | 0.00 |
| 7/16" OSB SHEATHING | 0.11 | 0.62 |
| 2X6 WOOD STUDS @ 16" O.C. W/24 BATT | 2.66 | 15.11 |
| 6 MIL. POLY VAPOR BARRIER | 0.00 | 0.00 |
| 1/2" G.W.B. | 0.08 | 0.45 |
| INTERIOR AIR FILM | 0.12 | 0.68 |
| TOTAL | 3.18 | 18.05 |
| REQUIRED | 3.08 | 17.49 |

| ASSEMBLY | RSI | R |
|-------------------------------------|-------------|--------------|
| W4- GARAGE SEPARATION | | |
| EXTERIOR AIR FILM | 0.03 | 0.17 |
| 1/2" G.W.B. | 0.08 | 0.45 |
| 2X6 WOOD STUDS @ 16" O.C. W/24 BATT | 2.66 | 15.11 |
| 6 MIL. POLY VAPOR BARRIER | 0.00 | 0.00 |
| 1/2" G.W.B. | 0.08 | 0.45 |
| INTERIOR AIR FILM | 0.12 | 0.68 |
| TOTAL | 2.97 | 16.86 |
| REQUIRED | 2.92 | 16.58 |

| | | | | | | | | |
|---------------------------------------|------------|----------|---|------------|----------|---|------------|----------|
| SKYLIGHTS | USI | U | SKYLIGHT SHAFTS | RSI | R | CEILING BELOW ATTICS | RSI | R |
| | 2.90 | 0.51 | WITH HRV - | 2.97 | 16.9 | WITH HRV - | 6.91 | 39.2 |
| | | | WITHOUT HRV - | 3.08 | 17.5 | WITHOUT HRV - | 8.67 | 49.2 |
| CATHEDRAL CEILING / FLAT ROOFS | RSI | R | | | | | | |
| WITH HRV - | 4.67 | 26.5 | | | | | | |
| WITHOUT HRV - | 4.67 | 26.5 | | | | | | |
| WINDOWS & DOORS | USI | U | | | | | | |
| | 1.80 | 0.32 | | | | | | |
| FLOOR OVER UNHEATED SPACE | RSI | R | FLOORS OVER GARAGE* | RSI | R | SEPARATION WALLS* | RSI | R |
| WITH HRV - | 4.67 | 26.5 | WITH HRV - | 4.51 | 25.6 | WITH HRV - | 2.81 | 16.0 |
| WITHOUT HRV - | 4.67 | 26.5 | WITHOUT HRV - | 4.51 | 25.6 | WITHOUT HRV - | 2.92 | 16.6 |
| WALLS | RSI | R | OTHER SEPARATIONS | RSI | R | OTHER SEPARATIONS | USI | U |
| WITH HRV - | 2.97 | 16.9 | DOOR TO GARAGE - | 1.10 | 6.25 | FRONT DOORS - | 2.60 | 0.46 |
| WITHOUT HRV - | 3.08 | 17.5 | ACCESS HATCH - | 2.60 | U-0.46 | GLASS BLOCK - | 2.90 | 0.51 |
| FOUNDATION WALLS | RSI | R | | | | | | |
| WITH HRV - | 2.98 | 16.9 | | | | | | |
| WITHOUT HRV - | 2.98 | 16.9 | | | | | | |
| HEATED FLOORS | RSI | R | UNHEATED FLOORS ABOVE FROST LINE | RSI | R | SLAB ON GRADE | RSI | R |
| WITH HRV - | 2.32 | 13.2 | WITH HRV - | 1.96 | 11.1 | WITH HRV - | 1.96 | 11.1 |
| WITHOUT HRV - | 2.32 | 13.2 | WITHOUT HRV - | 1.96 | 11.1 | WITHOUT HRV - | 1.96 | 11.1 |
| | | | UNHEATED FLOORS BELOW FROST LINE | RSI | R | SLAB ON GRADE WITH AN INTEGRAL FOOTING | RSI | R |
| | | | INSULATION NOT REQUIRED | | | WITH HRV - | 1.96 | 11.1 |
| | | | | | | WITHOUT HRV - | 1.96 | 11.1 |

* RELAXATION OF RSI 0.16 (R-16.1) FOR BUILDING ENVELOPE ASSEMBLIES ADJACENT TO UNCONDITIONED SPACES

HOUSING & SMALL BUILDINGS

A-9.1.1.1.(1) APPLICATION OF PART 9 TO SEASONALLY AND INTERMITTENTLY OCCUPIED BUILDINGS:
 THE BRITISH COLUMBIA BUILDING CODE DOES NOT PROVIDE SEPARATE REQUIREMENTS WHICH WOULD APPLY TO SEASONALLY OR INTERMITTENTLY OCCUPIED BUILDINGS. WITHOUT COMPROMISING THE BASIC HEALTH AND SAFETY PROVISIONS, HOWEVER, VARIOUS REQUIREMENTS IN PART 9 RECOGNIZE THAT LENIENCY MAY BE APPROPRIATE IN SOME CIRCUMSTANCES. WITH GREATER USE OF "COTTAGES" THROUGH THE WINTER MONTHS, THE PROLIFERATION OF SEASONALLY OCCUPIED MULTIPLE-DWELLING BUILDINGS AND THE INCREASING INSTALLATION OF MODERN CONVENIENCES IN THESE BUILDINGS, THE NUMBER AND EXTENT OF POSSIBLE EXCEPTIONS IS REDUCED.

ENERGY EFFICIENCY:
 CLAUSE 9.36.1.3.(5)(b) EXEMPTS SEASONALLY OCCUPIED RESIDENTIAL BUILDINGS SUCH AS SUMMER COTTAGES FROM THE REQUIREMENTS OF SECTION 9.36. COTTAGES INTENDED FOR CONTINUOUS OR REGULAR WINTER USE SUCH AS SKI CABINS ARE REQUIRED TO CONFORM TO SECTION 9.36.

THERMAL INSULATION:
 ARTICLE 9.25.2.1. SPECIFIES THAT INSULATION IS TO BE INSTALLED IN WALLS, CEILING AND FLOORS WHICH SEPARATE HEATED SPACE FROM UNHEATED SPACE. COTTAGES INTENDED FOR USE ONLY IN THE SUMMER AND WHICH, THEREFORE, HAVE NO SPACE HEATING APPLIANCES, WOULD NOT BE REQUIRED TO BE INSULATED. SHOULD A HEATING SYSTEM BE INSTALLED AT SOME LATER DATE, INSULATION SHOULD ALSO BE INSTALLED AT THAT TIME IN ACCORDANCE WITH ARTICLE 9.25.1.1. AND THE INSULATION TABLES IN SECTION 9.36. HOWEVER, IF THE BUILDING WERE NOT INTENDED FOR CONTINUOUS OR REGULAR WINTER USE, IT MAY STILL BE EXEMPTED FROM THE REMAINDER OF THE ENERGY EFFICIENCY REQUIREMENTS IN SECTION 9.36.

AIR BARRIER SYSTEMS & VAPOR BARRIERS:
 ARTICLE 9.25.3.1. AND 9.25.4.1. REQUIRE THE INSTALLATION OF AIR BARRIER SYSTEMS AND VAPOR BARRIERS ONLY WHERE INSULATION IS INSTALLED. DWELLINGS WITH NO HEATING SYSTEM WOULD NOT BE EXEMPT FROM THESE REQUIREMENTS. IN SOME CASES, SEASONALLY OCCUPIED BUILDINGS THAT ARE CONDITIONED MAY BE REQUIRED TO CONFORM TO THE AIR AND VAPOR BARRIER REQUIREMENTS OF SECTION 9.25, BUT NOT TO THE AIR BARRIER AND OTHER REQUIREMENTS OF SECTION 9.36.

INTERIOR WALL & CEILING FINISHES:
 THE CHOICE OF INTERIOR WALL AND CEILING FINISHES HAS IMPLICATIONS FOR FIRE SAFETY. WHERE A DWELLING IS A DETACHED BUILDING, THERE ARE NO FIRE RESISTANCE REQUIREMENTS FOR THE WALLS OR CEILING FINISHES WITHIN THE DWELLING. THE EXPOSED SURFACES OF WALLS AND CEILING ARE REQUIRED TO HAVE A FLAME-SPREAD RATING NOT GREATER THAN 150 (SUBSECTION 9.10.17.). THERE IS, THEREFORE, CONSIDERABLE FLEXIBILITY, EVEN IN CONTINUOUSLY OCCUPIED DWELLINGS, WITH RESPECT TO THE MATERIALS USED TO FINISH THESE WALLS. EXCEPT WHERE WATERPROOF FINISHES ARE REQUIRED (SUBSECTION 9.29.2.), CEILING AND WALLS MAY BE LEFT UNFINISHED. WHERE TWO UNITS ADJOIN, HOWEVER, ADDITIONAL FIRE RESISTANCE REQUIREMENTS MAY APPLY TO INTERIOR LOADBEARING WALLS, FLOORS AND THE SHARED WALL (ARTICLE 9.10.8.3., AND SUBSECTIONS 9.10.9. AND 9.10.11.).

PLUMBING & ELECTRICAL FACILITIES:
 PLUMBING FIXTURES ARE REQUIRED ONLY WHERE A PIPED WATER SUPPLY IS AVAILABLE (SUBSECTION 9.31.4.), AND ELECTRICAL FACILITIES ONLY WHERE ELECTRICAL SERVICES ARE AVAILABLE (ARTICLE 9.34.1.2.).

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CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

| NO. | DATE | REVISION |
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| 1 | 06/07/2022 | Issue for BP |

DATE: JUNE 7, 2022
 JOB NO.: 220402
 SCALE: AS INDICATED

PROJECT TITLE: **KILBACK RESIDENCE**

SHEET NUMBER: **A002**

DRAWING TITLE: **ASSEMBLIES & ENERGY EFFICIENCY**

GENERAL NOTES

GENERAL

- GARTNERS CUSTOM HOUSE DESIGNS HAS MADE EVERY EFFORT TO ENSURE THESE PLANS ARE COMPLETE AND ACCURATE BUT DUE TO POSSIBLE HUMAN ERROR, GARTNERS CUSTOM HOUSE DESIGNS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS TO THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO CHECK AND VERIFY ALL DIMENSIONS, STRUCTURE, AND CONDITIONS ON THE PLANS BEFORE STARTING CONSTRUCTION
- INFORM GARTNERS CUSTOM HOUSE DESIGNS AS SOON AS POSSIBLE IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS
- THE CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF THE BUILDING ON SITE WHICH WILL BE DETERMINED BY THE INTENDED SURVEYOR
- THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CURRENT VERSION OF THE BCBC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CODES AND BY-LAWS ARE MET.
- GRADES SHOWN ON THESE PLANS IS ASSUMED AND IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO ENSURE ALL GRADES SLOPE AWAY FROM THE BUILDING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE OWNER TO PROVIDE ANY ENGINEERING REQUIRED.

BUILDING PERMITS AND HOME OWNER WARRANTY PROTECTION

- UNDER NO CIRCUMSTANCES IS WORK TO COMMENCE UNTIL THE BUILDING PERMIT AS BEEN OBTAINED
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN ALL THE APPROPRIATE BUILDING PERMITS AND APPROVALS FROM THE AUTHORITY HAVING JURISDICTION.
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN A HPD NUMBER IF HE/SHE DECIDES TO UNDERTAKE THIS PROJECT WITHOUT A FULLY REGISTERED BUILDER.

RIPARIAN AND FLOODPLAIN

- IT IS THE OWNERS RESPONSIBILITY TO DETERMINE IF THEIR BUILDING LOCATION WILL INVOKE ANY RIPARIAN AND/OR FLOODPLAIN ISSUES.
- ALL COSTS ASSOCIATED WITH RIPARIAN AND/OR FLOODPLAIN ISSUES ARE THE SOLE RESPONSIBILITY OF THE OWNER

ENGINEERING

- ALL TRUSSES, PARALAM BEAMS, AND HANGERS ARE TO BE VERIFIED AND CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER.
- TRUSS LAYOUT SHALL BE CONFIRMED BY MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL ENGINEERED DRAWINGS TO TAKE PRECEDENCE OVER SIZING AND LOCATION OF FOUNDATIONS AND OTHER ENGINEERED ELEMENTS SHOWN ON THESE PLANS.

EXCAVATIONS

- GEOTECHNICAL ENGINEER IS TO CLARIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATIONS EXCEED 3/4 HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 4B'.
- INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROFESSIONAL ENGINEER

VENTILATION

- UNIFORMLY DISTRIBUTE VENTILATION TO FLAT AND VAULTED ROOFS TO 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWO-WAY.
- MINIMUM 2X2 CROSS PURLINS TO FLAT, VAULTED CEILINGS AND DECKS OVER LIVING AREAS TO CONFORM TO BCBC ARTICLE 9.19.1.2(4).
- PROVIDE MINIMUM 2 1/2" CLEARANCE BETWEEN ROOF SHEATHING AND INSULATION AS PER BCBC ARTICLE 9.19.1.3. PROVIDE MINIMUM 1" CLEARANCE BETWEEN TOP OF DECK AND ROOF JOISTS AND INSULATION.
- VENTILATE ATTICS TO 1/300 OF INSULATED AREA
- ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% @ BASE AND 25% IN ROOF TOP.
- PROVIDE WEATHER STRIPPED ATTIC ACCESS OF 1'-8" X 2'-4" UNLESS OTHERWISE NOTED
- CONTINUOUS OR INTERMITTENT EXHAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHENS

STAIRS

- STRAIGHT STAIR - RISE: MINIMUM OF 5", MAX OF 7.87", RUN: MINIMUM 10", MAX OF 14"
- ALL TREADS TO HAVE A 1" NOSING
- CLEAR HEIGHT OVER STAIRS MEASURED VERTICALLY FROM THE NOSING OF A TREAD TO THE LOWEST POINT ABOVE SHALL BE NOT LESS THAN 6'-5"
- HANDRAILS TO BE BETWEEN 32" AND 38" FROM A LINE MEASURED VERTICALLY THROUGH NOSING.
- WINDERS TO CONFORM TO 9.8.4.5.
- PRIMARY STAIR MINIMUM WIDTH OF 34"
- CURVED STAIRS AND STAIRS 43" IN WIDTH OR GREATER REQUIRE 2 HANDRAILS
- HANDRAILS REQUIRED ON ALL INTERIOR STAIRS WITH THREE OR MORE RISERS AND EXTERIOR STAIRS WITH FOUR OR MORE RISERS
- HANDRAILS AS A GUARDRAIL IS TO BE BETWEEN 36" AND 38"

CHIMNEY AND FIREPLACES

- MINIMUM 2" CLEARANCE BETWEEN CHIMNEY AND COMBUSTIBLE FRAMING
- MINIMUM 4" CLEARANCE BETWEEN FIREPLACE AND COMBUSTIBLE FRAMING
- MASONRY FIREPLACE HEARTH MUST CONFORM TO BCBC ARTICLE 9.25.5.1
- C.O. DETECTORS REQUIRED AS PER BCBC ARTICLE 9.32.4.2

GUARDRAILS

- GUARDRAIL HEIGHT TO BE A MIN 42" FOR EXTERIOR USE AND 38" FOR INTERIOR USE
- NO MEMBER FACILITATING CLIMBING PERMITTED FROM 4" TO 36" ABOVE THE FLOOR OR WALKING SURFACE
- MAX 4" OPENING IN ALL STAIR, DECK, AND BALCONY GUARDS
- ALL GLASS GUARDS TO HAVE A TOP CAP UNLESS APPROVED BY PROF. ENGINEER
- A MINIMUM OF 36" IN HEIGHT IS PERMITTED FOR DECKS WITHIN 5'-11" OF GRADE
- GUARD REQUIRED TO ALL DROPS EXCEEDING 24" WHERE ACCESS IS PROVIDED

GLAZING

- GLASS IN WINDOWS AND DOORS TO BE DOUBLE GLAZED
- GLASS IN ENTRANCE, SHOWER, AND SLIDING DOORS AND WINDOWS WITHIN 8' OF FLOORS AND WITHIN 36" OF DEADBOLTS ARE ALL TO BE SAFETY GLASS
- SIDLIGHTS 20" OR GREATER IN WIDTH ARE TO BE MADE OF SAFETY GLASS
- WINDOWS IN WALLS ENCLOSEING SHOWERS OR TUBS ARE TO BE SAFETY GLASS AND TO BE LOCATED ABOVE THE WATERPROOF WALL FINISH HEIGHT.
- THE BOTTOM OF AN OPENABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 4'-11" ABOVE THE FLOOR AND HAVE A MINIMUM OPENING WIDTH OF 15" WITH A MINIMUM AREA OF 3.75 SQFT
- WINDOW WELLS ARE TO BE 22" MINIMUM IN WIDTH WHEN REQUIRED AS A BEDROOM EGRESS

MASONRY VENEER WALLS

- PROVIDE MASONRY / VENEER WALL FLASHING TIES AND WEEP HOLES AS PER BCBC ARTICLE 9.20.

GARAGES

- DOORS BETWEEN GARAGES AND DWELLINGS ARE TO BE SELF-CLOSING AND WEATHER-STRIPPED SOLID CORE DOOR
- THICKEN SLAB AT GARAGE ENTRY TO 18" BELOW GRADE.

WOOD FRAME CONSTRUCTION

- FRAMING METHODS AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE BCBC
- ALL FRAMING LUMBER TO BE NO.2 OR BETTER DOUGLAS FIR OR SPRUCE SPF. THE DESIGN AND STRUCTURAL MEMBERS HAS BEEN BASED ON SPAN TABLES FOR WOOD RAFTERS JOISTS AND BEAMS AS SHOWN IN PART 9 OF THE BCBC
- ALL LOAD BEARING LINTELS TO BE 2-2X10 UNLESS OTHERWISE NOTED
- ALL LOAD BEARING BEAMS SHALL NOT HAVE LESS THAN 3 1/2" OF EVEN AND LEVEL BEARING SUPPORTS
- ALL JOISTS SHALL HAVE A MINIMUM OF 1 1/2" BEARING AT SUPPORTS
- ALL CONCRETE AND WOOD CONTACTS SHALL BE DAMPROOFED WITH AN APPROVED SILL GASKET OR 6 MIL POLY
- EXPOSED LUMBER SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED WITH AN APPROVED PRESERVATIVE
- ALL PLYWOOD SUBFLOORS ARE TO BE GLUED AND SCREWED TO THE FLOOR JOISTS.
- FLOOR AND ROOF JOIST SPANS OF MORE THAN 6' - 10" SHALL BE BRIDGED AT MIDSPAN OR AT 6' - 10" O.C. MAX WITH 2X2 CROSS BRACING OR SOLID BLOCKING 1X3 STRAPPING @ 6' - 10" O.C. MAX OR GYPSUM BOARD TO UNDERSIDE OF JOISTS

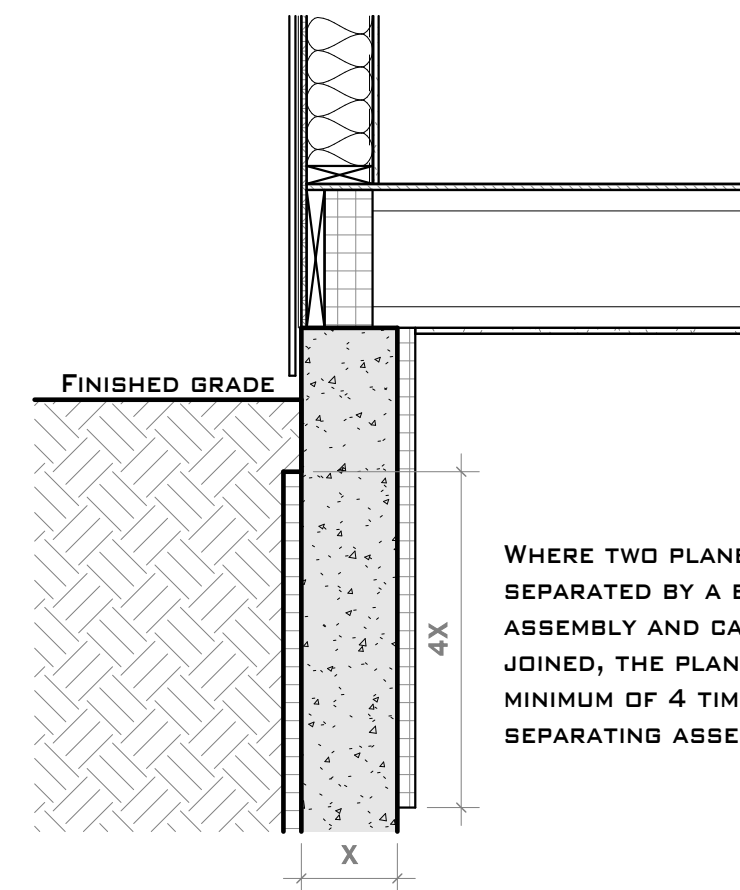
OTHER NOTES

- HEATING SYSTEM TYPE TO BE SUPPLIED BY MULTIPLE UNITS VIA A DUCTLESS MINI SPLIT SYSTEM
- MECHANICAL VENTILATION TO BE SUPPLIED BY MULTIPLE UNITS VIA DUCTLESS MINI SPLIT SYSTEM
- PRINCIPAL EXHAUST FAN TO BE CONNECTED WITH BATHROOM EXHAUST
- TYPE OF HOT WATER HEATING TO BE HOT WATER TANK
- REFER TO SITE PLAN & SITE INFORMATION ON SHEET A101 FOR BUILDING FOOTPRINT(S)
- REFER TO MAIN FLOOR PLAN ON SHEET A202 FOR UTILITY ROOM LOCATION

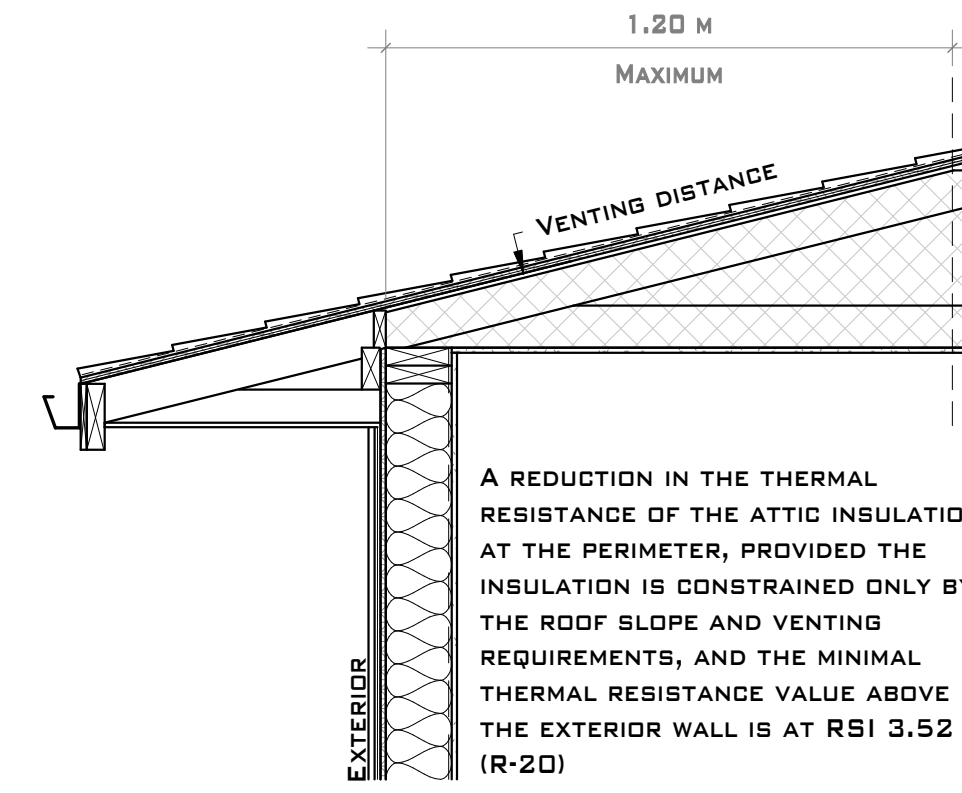
CONTINUITY OF INSULATION

9.36.2.5

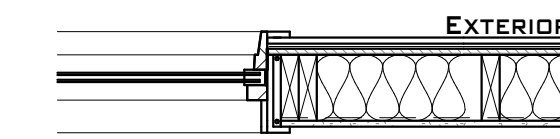
THE CONTINUITY OF THE EFFECTIVENESS OF INSULATION IS REQUIRED. REFER TO SECTION 9.36.2.5 OF THE BRITISH COLUMBIA BUILDING CODE FOR FURTHER REQUIREMENTS



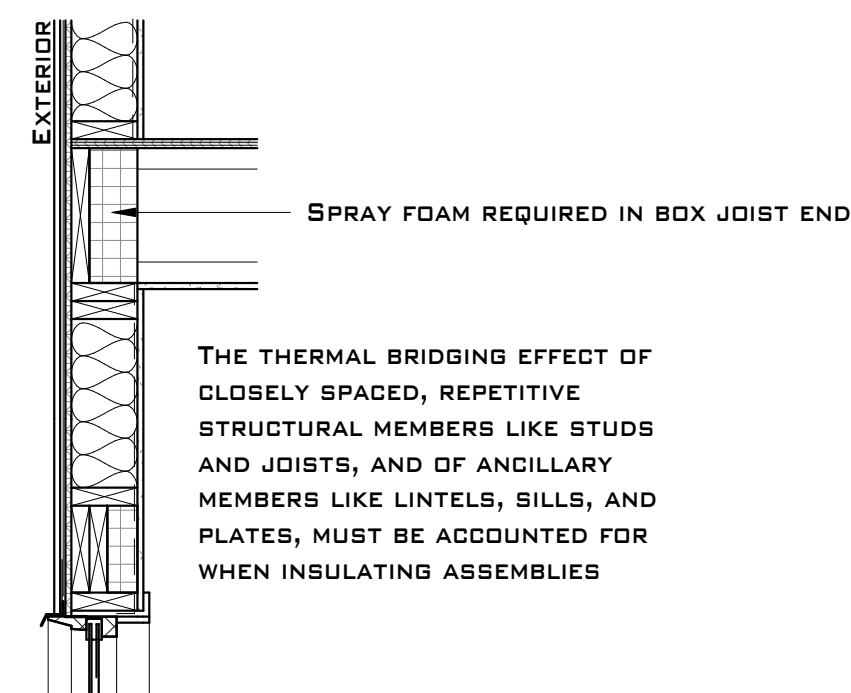
○ TWO PLANES OF INSULATION
3/4" = 1'-0"



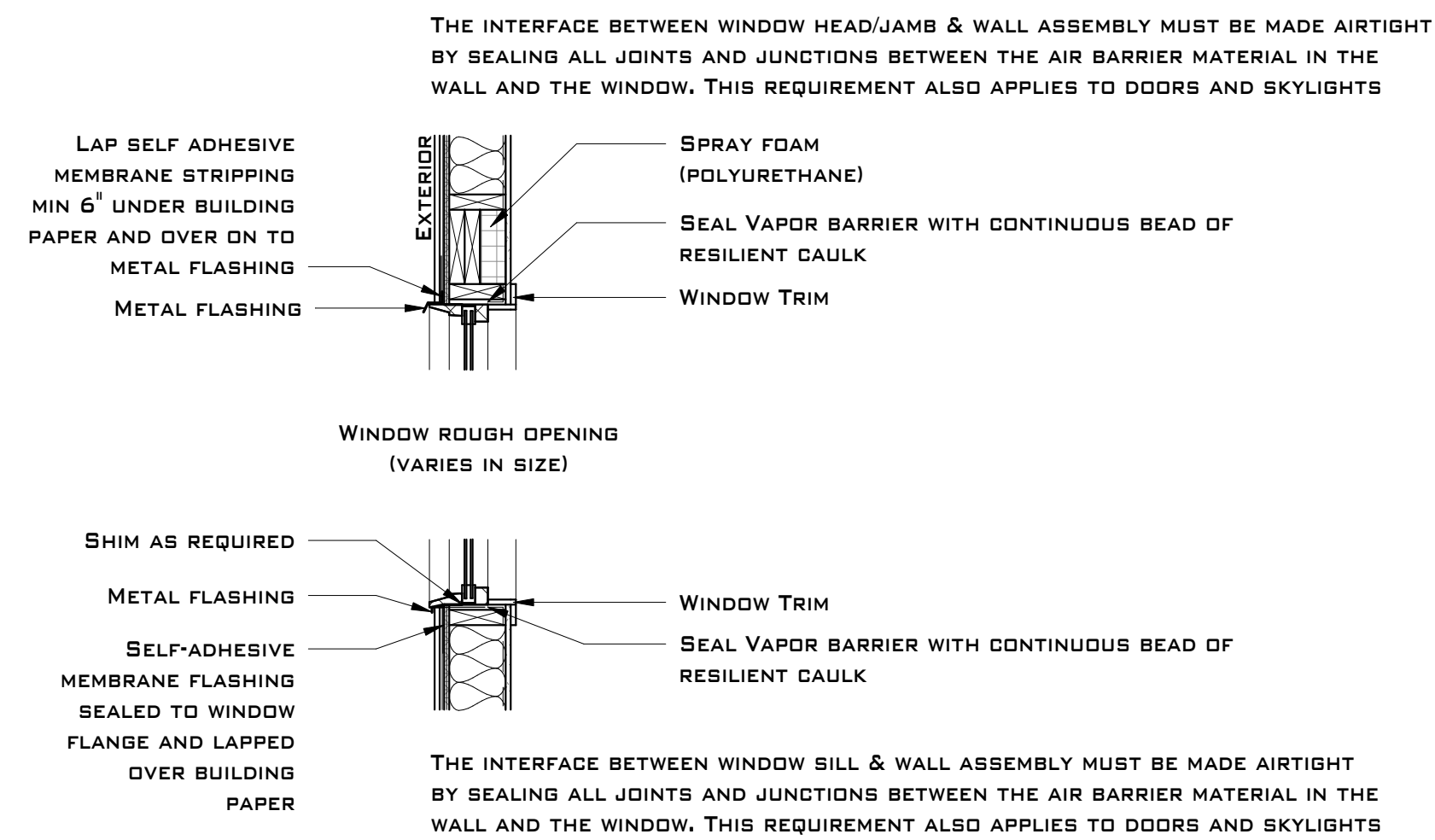
○ ATTIC INSULATION AT EXTERIOR WALL
3/4" = 1'-0"



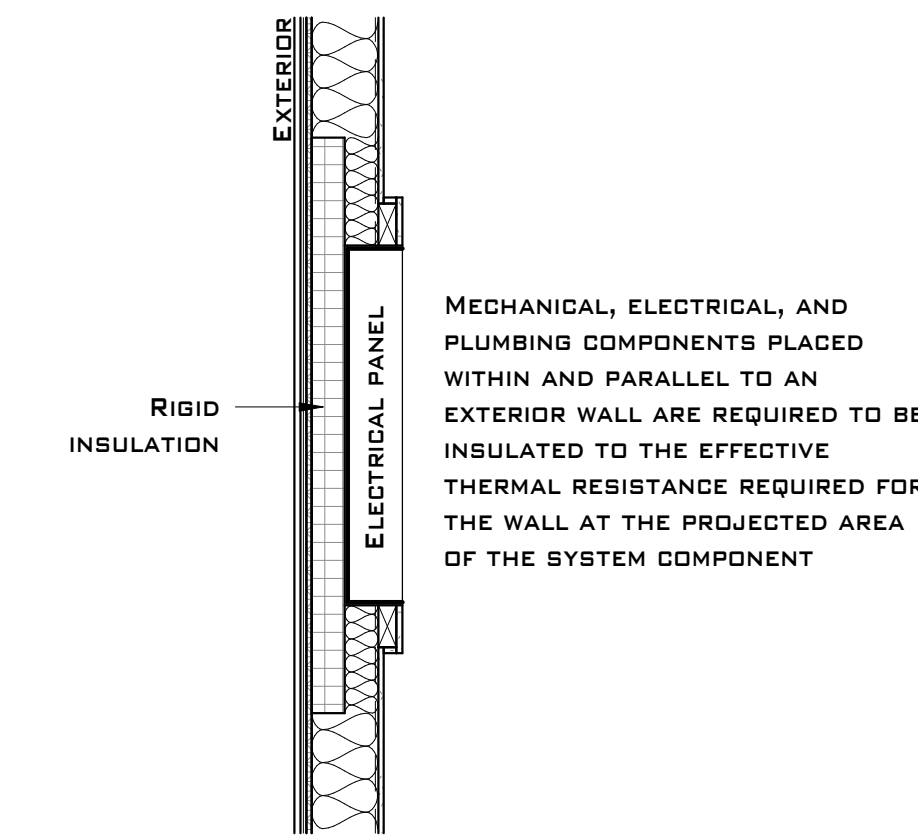
○ WALL TO WINDOW OR DOOR INTERFACE
3/4" = 1'-0"



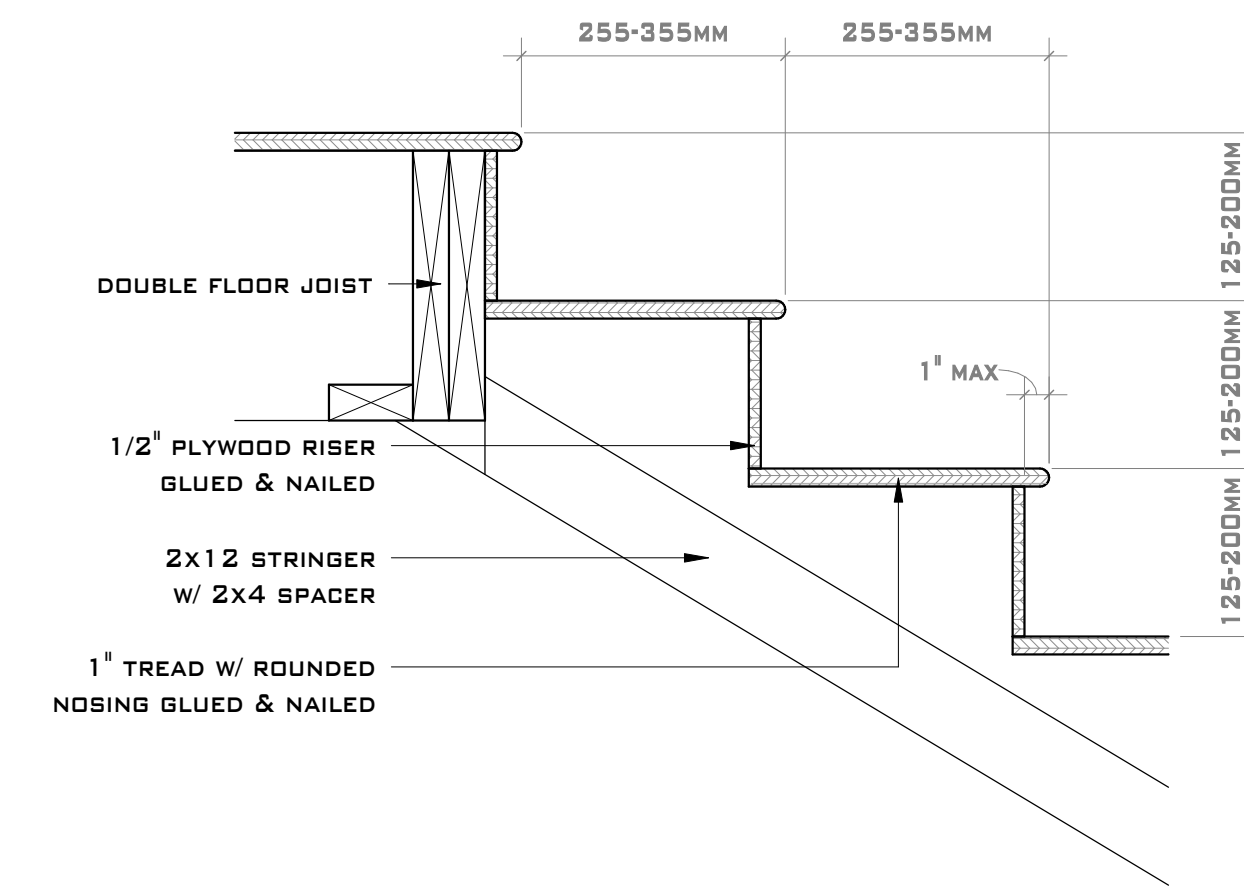
○ HEADERS & RIM JOISTS DETAILS
3/4" = 1'-0"



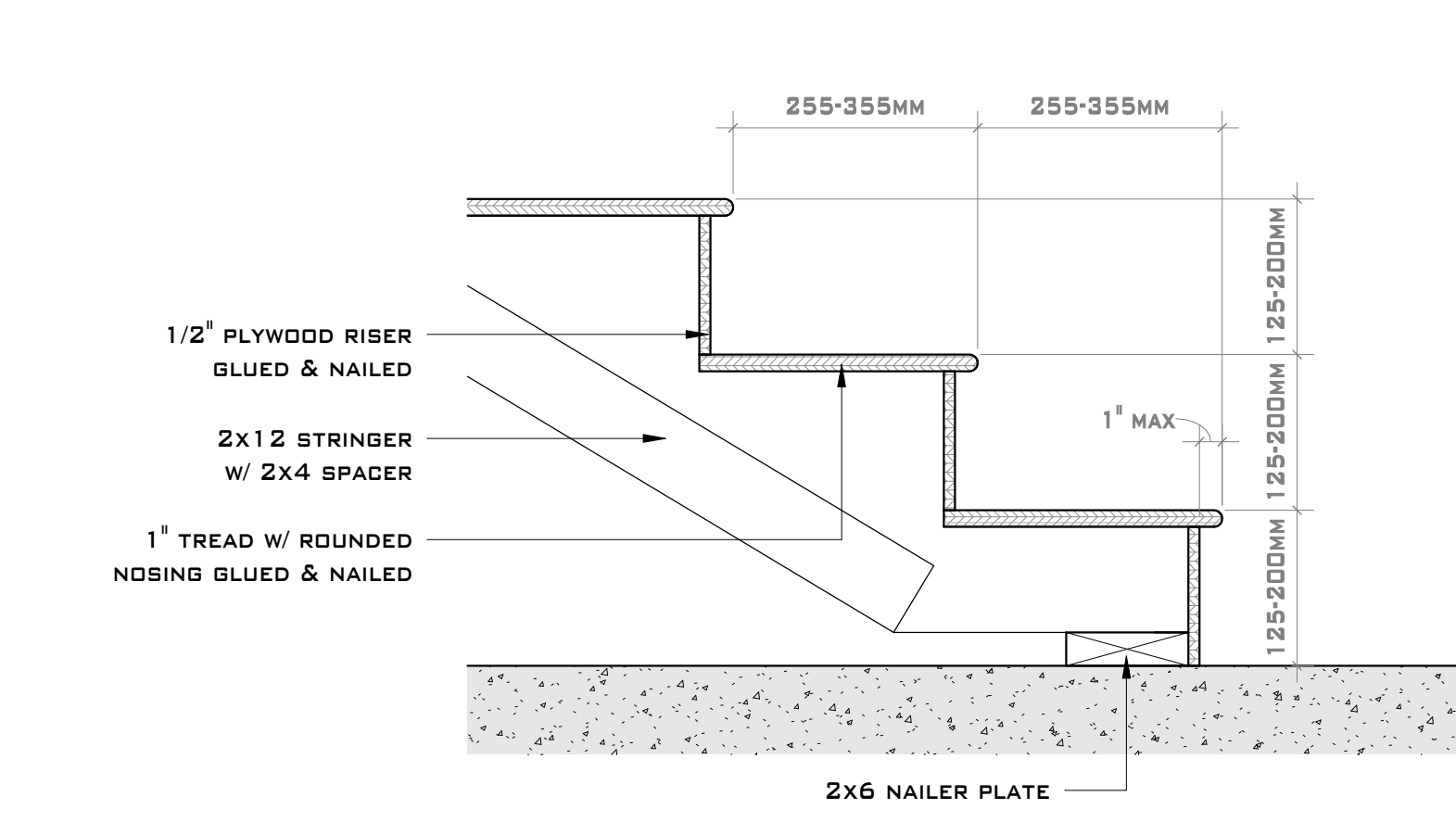
○ WINDOW FLASHING
3/4" = 1'-0"



○ ELECTRICAL PANEL INSULATION
3/4" = 1'-0"



○ STAIR DETAIL 1
1 1/2" = 1'-0"



○ STAIR DETAIL 2
1 1/2" = 1'-0"



GARTNER'S CUSTOM HOUSE DESIGNS
168 - 1458 PENTICTON AVE
PENTICTON, BC V5A 8L3
(250) 487-8278
WWW.GARTNERDESIGNS.COM
GARTNERDESIGN@GMAIL.COM

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| 1 | 06/07/2022 | Issue for BP |
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DATE: JUNE 7, 2022
JOB NO.: 220402
SCALE: AS INDICATED

PROJECT TITLE

**KILBACK
RESIDENCE**

SHEET NUMBER

A003

DRAWING TITLE

**GENERAL NOTES &
INSULATION
DETAILS**

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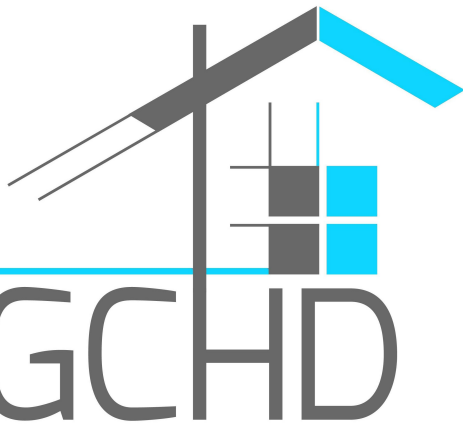
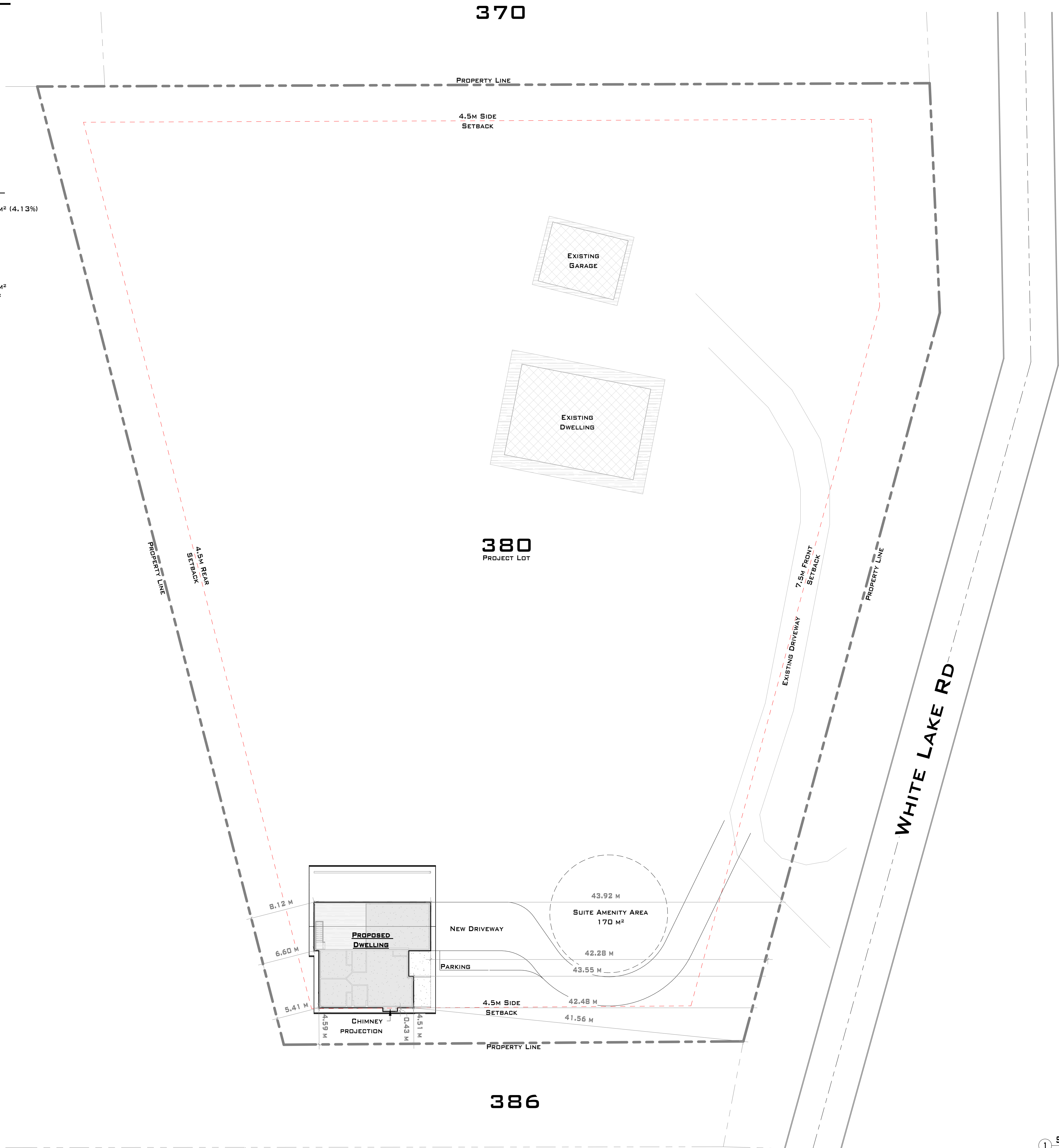
PROJECT / ZONING DATA

PROJECT ADDRESS: 380 WHITE LAKE ROAD, CAWSTON, BC
 LEGAL DESCRIPTION: LOT 6, PLAN KAP58896, SECTION 10, TOWNSHIP 88, SIMILKAMEEN DIV OF YALE LAND DISTRICT, EXCEPT PLAN KAPB0746
 ZONING: SH3 (SMALL HOLDINGS THREE ZONE)
 ALR: No
 SITE AREA: 114,154 SQFT (1.06 HECTARE / 2.62 ACRES / 10,605M²)
 FOOTPRINTS:
 EXISTING DWELLING: 2,052 - SQFT
 EXISTING GARAGE: 800 - SQFT
 PROPOSED DWELLING: 1,865 - SQFT
 TOTAL: 4,717 - SQFT

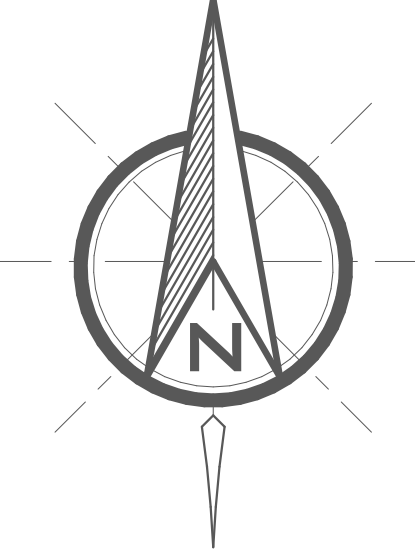
NOTES***
 BUILDER IS TO CONFIRM BUILDING LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION & CONFIRM EXISTING CONDITIONS
 ROOF DRAINAGE SYSTEM SPLASH PADS REQUIRED FOR ROOF RAIN WATER LEADERS AS PER GEOTECH.
 NO VENTED SOFFITING AN ANY OVERHANG THAT IS WITHIN 1.2M OF PROPERTY LINE. IF SOFFIT IS VENTED WITHIN 1.2M FIRE BLOCKING AT EAVES IS REQUIRED.

| RDOS BYLAW REQUIREMENTS FOR ACCESSORY DWELLINGS IN SH3: | | PROJECT BYLAW SUMMARY: | |
|---|----------------------|------------------------|-------------------------------|
| MAXIMUM LOT COVERAGE: | 20 % | LOT COVERAGE: | 438.22 M ² (4.13%) |
| MAXIMUM HEIGHT: | 10.0 M | HEIGHT: | 6.47 M |
| SETBACKS: | | SETBACKS: | |
| FRONT YARD: | 7.5 M | FRONT YARD: | 41.56 M |
| REAR YARD: | 4.5 M | REAR YARD: | 5.41 M |
| INTERIOR SIDE YARD: | 4.5 M | INTERIOR SIDE YARD: | 4.51 M |
| EXTERIOR SIDE YARD: | 4.5 M | EXTERIOR SIDE YARD: | N/A |
| MAXIMUM FLOOR AREA: | 125.0 M ² | FLOOR AREA: | 124.97 M ² |
| MINIMUM AMENITY SPACE: | 15.0 M ² | AMENITY SPACE: | 170.0 M ² |
| REQUIRED PARKING: | 1 STALL | PARKING PROVIDED: | 1 STALL |

REFER TO A301 FOR SPATIAL SEPARATIONS ON SOUTH FACE.



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DATE: JUNE 7, 2022
 JOB NO.: 220402
 SCALE: AS INDICATED

PROJECT TITLE
KILBACK RESIDENCE

SHEET NUMBER
A101

DRAWING TITLE
SITE PLAN & SITE INFORMATION

1 SITE
 3/64" = 1'-0"

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FOUNDATION NOTES

FOOTINGS & FOUNDATIONS

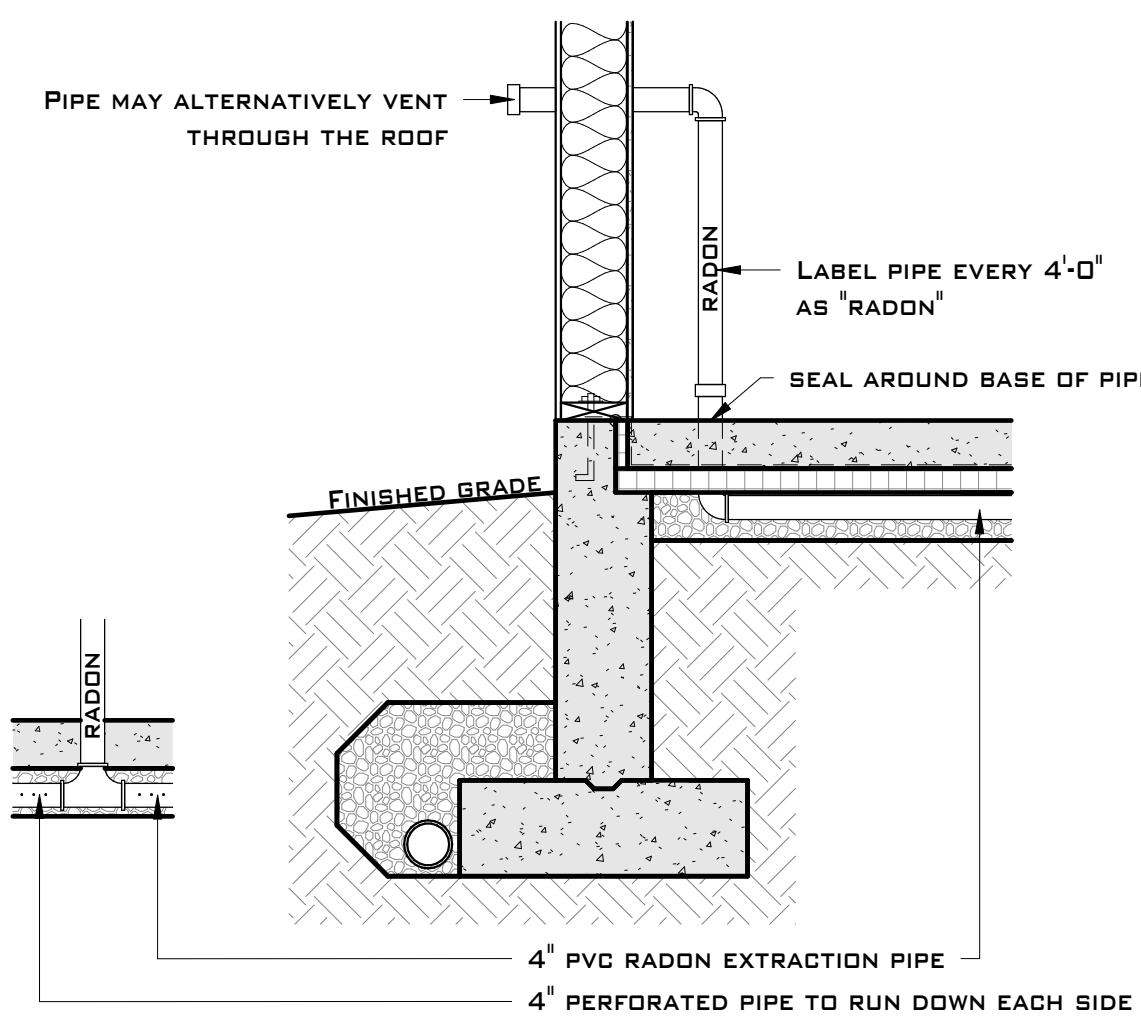
1. CONCRETE TO BE A MINIMUM COMPREHENSIVE STRENGTH OF 25 MPA CORROSIVE RES. AT 28 DAYS UNLESS NOTED OTHERWISE WHILE GARAGES, CARPORTS, AND EXTERIOR STEPS ARE TO BE AT 32 MPA
2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL AT AN ELEVATION BELOW FROST PENETRATION
3. FOOTINGS SHOWN ON THIS DRAWING HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 PSF
4. ALL FOUNDATION WALLS ARE TO HAVE ONE HORIZONTAL 10M R-BAR INSIDE OF CENTERS 4" FROM THE TOP OF THE CORNER REINFORCING BARS TO BE LAPPED MIN 24"
5. ALL STRIP FOOTINGS ARE TO HAVE CONTINUOUS 10M R-BARS
6. 10M R-BARS AT 6" O.C. EACH WAY ARE RECOMMENDED IN ALL PAD FOOTINGS
7. 4" MINIMUM OF AT LEAST 3/4" RADON ROCK IS TO BE USED UNDER ANY FOUNDATION SLABS
8. HORIZONTAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 24" O.C. LESS THEN 12" FROM TOP W/ 1" OF COVER
9. VERTICAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 10" O.C. LESS THAN 24" FROM OPENINGS W/ 1" OF COVER
10. BOTTOM FOUNDATION WALL LATERAL SUPPORT METHOD TO BE 15M WET DOWEL SPACED @ 48" O.C.
11. PAD FOOTINGS ARE REQUIRED TO BE 26" x 26" x 9" MINIMUM. UNLESS OTHERWISE NOTED
12. FOR PAD FOOTING REINFORCEMENT USE THREE 12" ANGLED R-BARS FROM FOOTING TO FOUNDATION
13. PROVIDE 1/2" DIAMETER ANCHOR BOLTS @ 8" O.C.
14. ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT
15. ENSURE 24" FROST PROTECTION FOR ALL FOOTINGS

9.13.4.3. PROVIDING FOR THE ROUGH-IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM

1. INSTALL A MIN. 4" DIA. PVC PIPE LABELED AS PER 9.16.2.1.(1) & 9.13.4. OF THE 2018 CBC AND AS SHOWN ON THE ATTACHED DRAWINGS. ENSURE THAT THE END IS BURIED UNDER THE SLAB OR GROUND COVER AND IS COVERED WITH A SCREENED MATERIAL AND SECURED TO PIPE TO PREVENT ANY OF THE COMPACTED GRANULAR FILL FROM ENTERING THE OPEN END OF THE PIPE. ENSURE A MIN OF 4" GRANULAR FILL AS PER 9.16.2.1.(1) OF THE 2018 CBC
2. INSTALL THE REQUIRED POLY VAPOR BARRIER OVER THE ENTIRE AREA AND WRAP UP ANY VERTICAL SURFACES AND SEAL WHERE POSSIBLE. ENSURE VAPOR BARRIER IS INSTALLED WITHOUT GAPS, TEARS OR HOLES, ALL LAP JOINTS TO BE TAPPED.
3. INSTALL A PVC PIPE UPSTAND AS PER A-9.13.4.3.(2)(b) & (3)(b)(i) OF THE 2018 CBC. PROVIDE AN AIR-TIGHT CAP LABELED "RADON" FOR FUTURE USE AFTER TESTING IS COMPLETE. UPSTAND TO EXTEND 3" ABOVE FINISHED SLAB OR TO A HEIGHT IN ORDER TO CONNECT TO AN EXHAUST FAN.
4. INSTALL REINFORCEMENT AS REQUIRED AND POUR SLAB OR GROUND COVER
5. TESTING FOR RADON CAN BE COMPLETED AFTER THE BUILDING ENVELOPE IS AIR-TIGHT. INFORM YOUR COORDINATING REGISTERED PROFESSIONAL FOR RADON GAS TESTING AND CERTIFICATION.
6. IF THE TEST RESULTS ARE NEGATIVE, PLACE A PERMANENT CAP ON THE UPSTAND AND LABEL THE TOP OF THE PIPE ACCORDINGLY AS "NEGATIVE" INCLUDE RESULTS AND TEST DATE OF THE TEST.
7. IF THE TEST RESULTS ARE POSITIVE, INSTALL A MECHANICAL EXHAUST FAN AND ASSOCIATED DUCTWORK TO PROVIDE APPROPRIATE CONTINUOUS VENTING TO THE EXTERIOR THROUGH AN ENCLOSED SHAFT (AND IF NECESSARY, FIRE-RATED). COORDINATION BETWEEN THE ARCHITECTURAL DESIGNER AND THE MECHANICAL DESIGNER MAY BE NECESSARY. AS AN ALTERNATIVE, PROVIDE A SEPARATE DUCT SHAFT IN TANDEM WITH A B-VENT (OR SIMILAR) TO EXHAUST TO THE ROOF OR THROUGH AN EXTERIOR WALL.

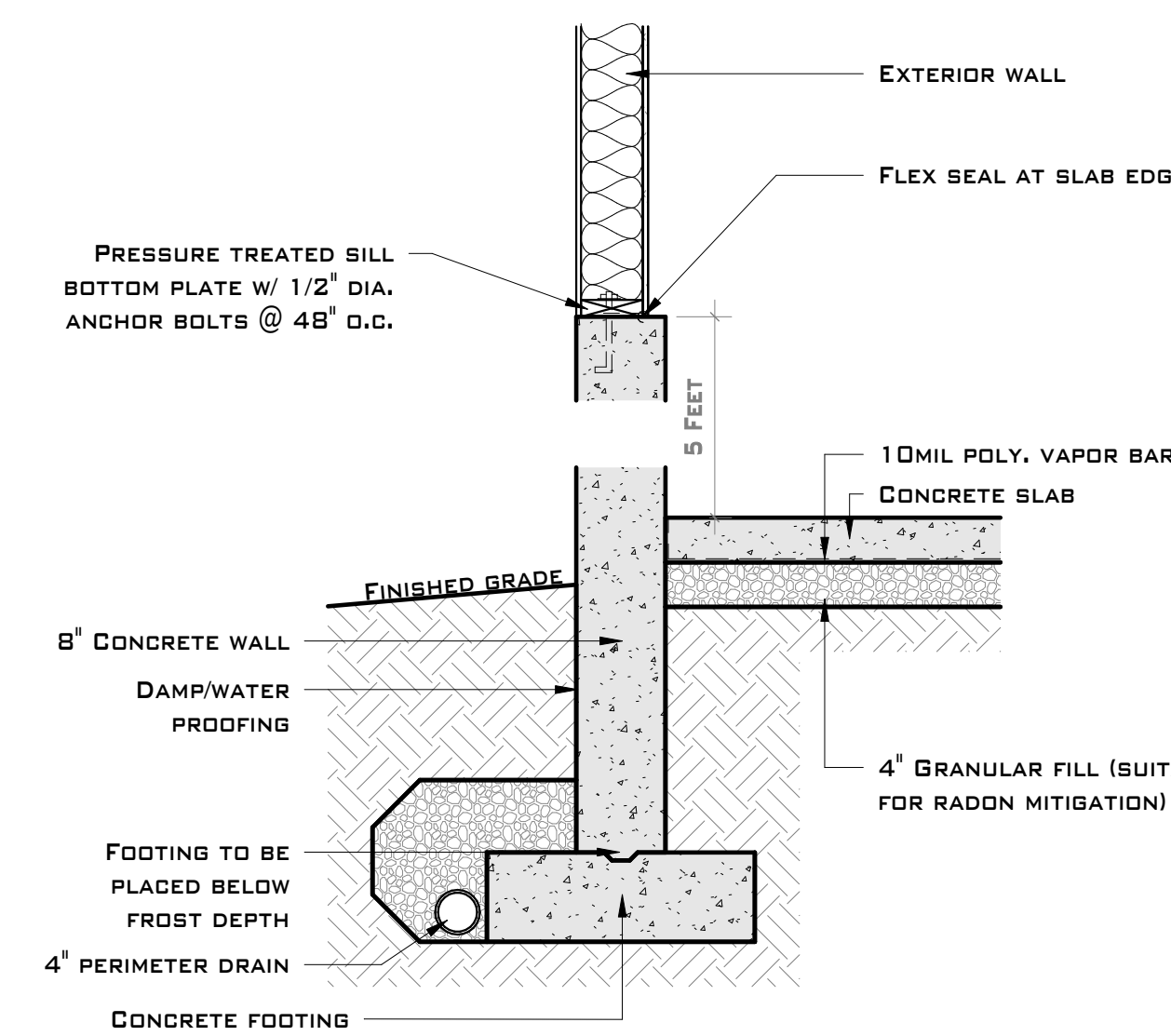
OTHER NOTES

1. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.



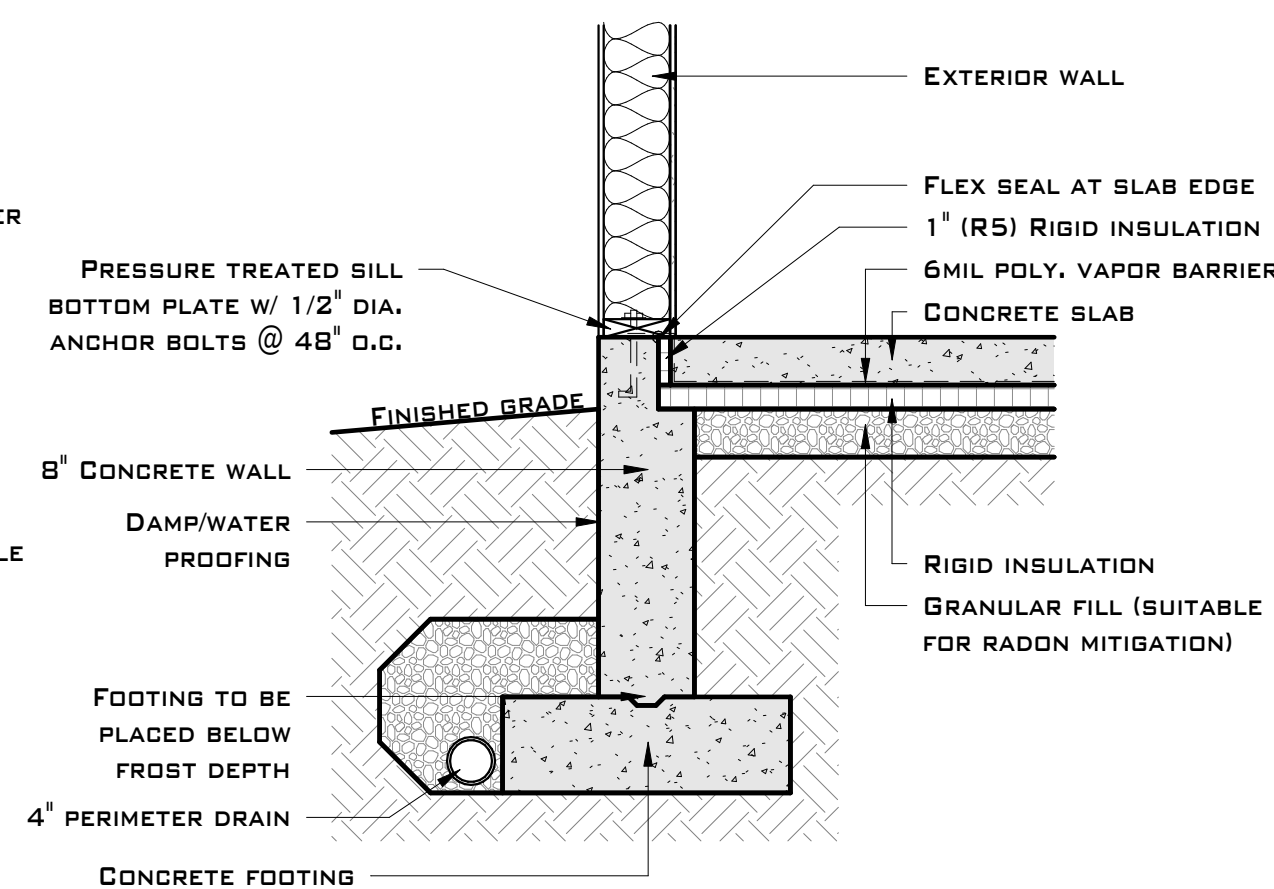
RADON EXTRACTION DETAIL

3/4" = 1'-0"



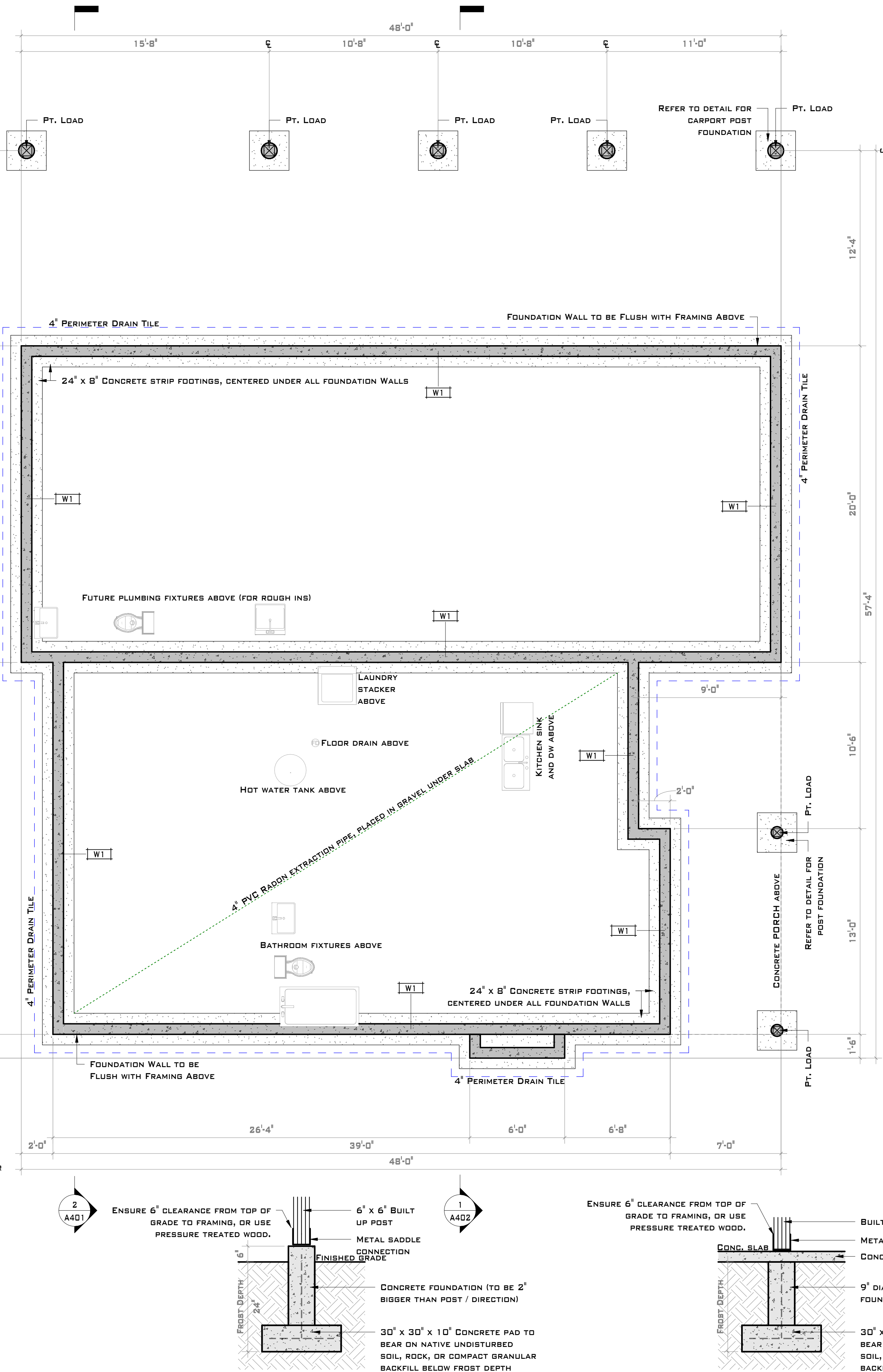
FROST FOOTING, GARAGE

3/4" = 1'-0"



FROST FOOTING, DWELLING

3/4" = 1'-0"



CARPORT POST FOUNDATION

1/2" = 1'-0"

POST FOUNDATION DETAIL

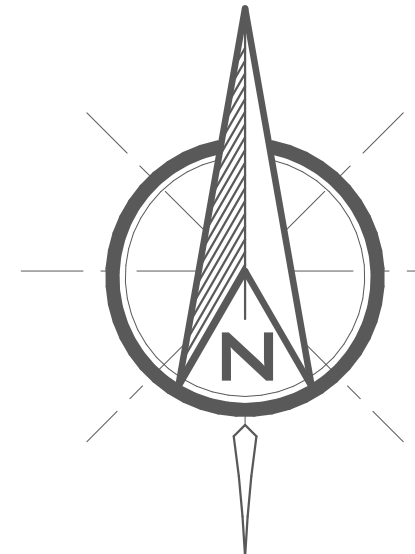
1/2" = 1'-0"

FOUNDATION

1/4" = 1'-0"



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DATE: JUNE 7, 2022
JOB NO.: 220402
SCALE: AS INDICATED

PROJECT TITLE

KILBACK RESIDENCE

SHEET NUMBER

A201

DRAWING TITLE

FOUNDATION PLAN & RADON DETAILS

DO NOT SCALE ANY OF THE DRAWING SHEETS

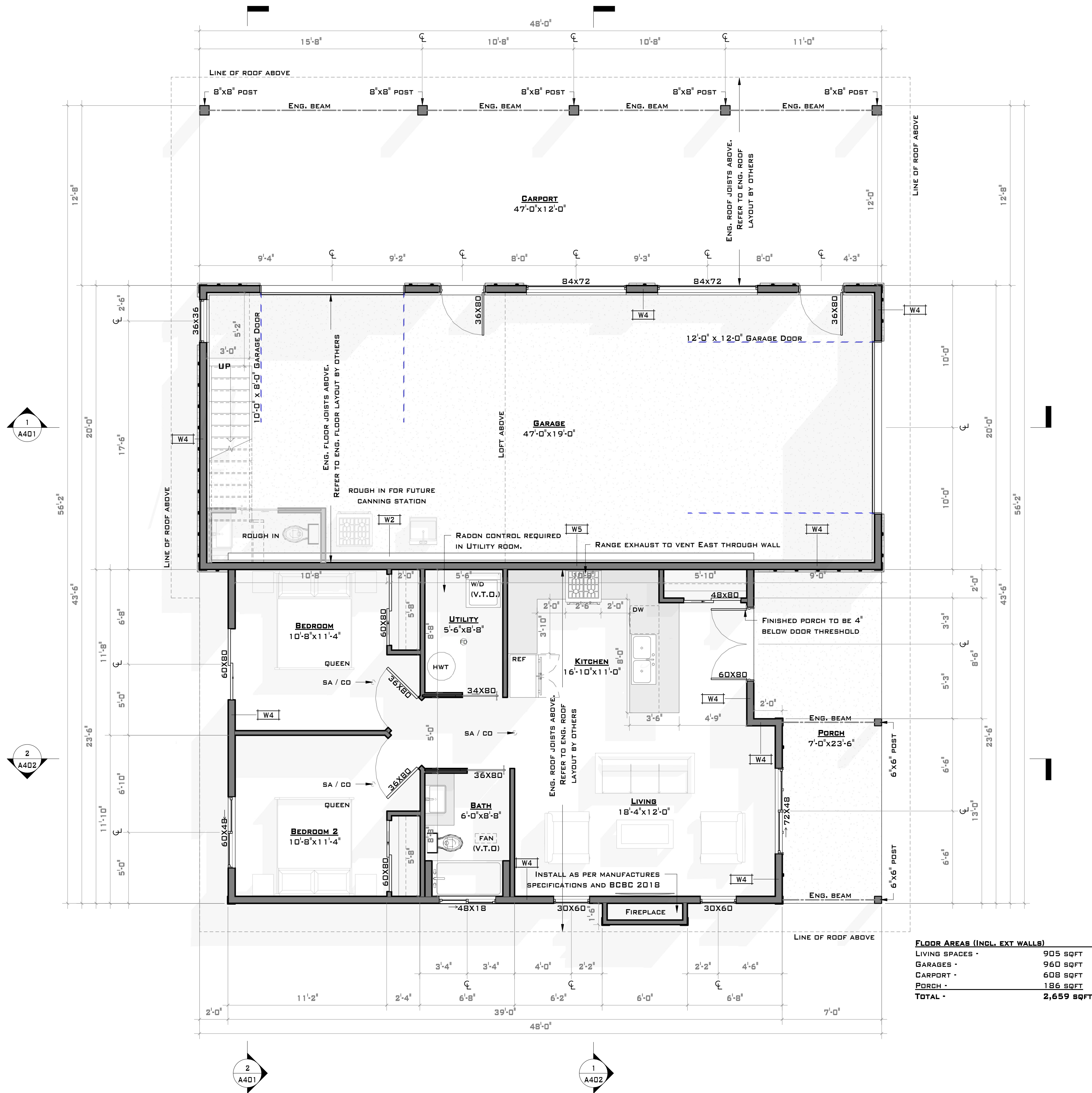
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FLOOR PLAN NOTES

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- TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
- IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
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- ROOF TRUSSES ABOVE ARE TO PROVIDE VAULTED CEILINGS UNLESS OTHERWISE NOTED UNDER ROOM TAG.
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MECH. NOTES

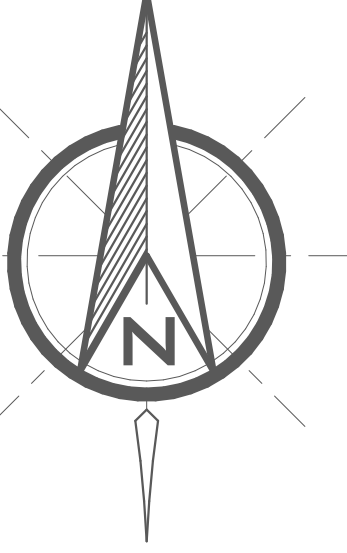
- HWT PIPING 9.36.4.4 (1) 2018 BCBC - THE INLET AND OUTLET OF HWT, STORAGE TANK OR HEATING VESSEL REQUIRES 12MM (0.5") WALL INSULATION, A MINIMUM OF 2M (6'). PIPING WITHIN AN INSULATED INTERIOR WALL WOULD BE CONSIDERED INSULATED. THE REMAINDER OF THE PIPING FROM THE WALL BACK TO THE TANK OR VESSEL IS REQUIRED TO BE INSULATED AS SPECIFIED
- EXPANSION TANK 2.6.1.11 2018 BCBC - A DIAPHRAGM EXPANSION TANK OR, THERMAL EXPANSION RELIEF VALVE, IS REQUIRED ON THE WATER DISTRIBUTION SYSTEM. INSTALL ACCORDING TO MANUFACTURE INSTRUCTIONS/
- WATER PIPING SIZE 2.6.3.4. 2018 BCPC - WATER PIPING NEEDS TO BE DESIGNED AND INSTALLED TO MEET THE HYDRAULIC LOAD (FU'S) FOR ALL FIXTURES DOWNSTREAM OF THE WATER SERVICE PIPE AND METER IN THE WATER DISTRIBUTION SYSTEMS
- WATER METER REQUIREMENTS, PUBLIC WORKS - INSTALL SHUTOFFS LOCATED UPSTREAM AND DOWNSTREAM OF THE METER TO ISOLATE. ENSURE THE METER IS SUPPORTED AND ACCESSIBLE. DO NOT COVER OR LIMIT ACCESS TO THE METER WIRE LOCATED INSIDE OR OUTSIDE THE BUILDING



| FLOOR AREAS (INCL. EXT WALLS) | |
|-------------------------------|-------------------|
| LIVING SPACES - | 905 SQFT |
| GARAGES - | 960 SQFT |
| CARPORT - | 608 SQFT |
| PORCH - | 186 SQFT |
| TOTAL - | 2,659 SQFT |



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| JOB NO. | 220402 |
| SCALE | AS INDICATED |

PROJECT TITLE

KILBACK RESIDENCE

SHEET NUMBER

A202

DRAWING TITLE

MAIN FLOOR PLAN

1 MAIN FLOOR
 1/4" = 1'-0"

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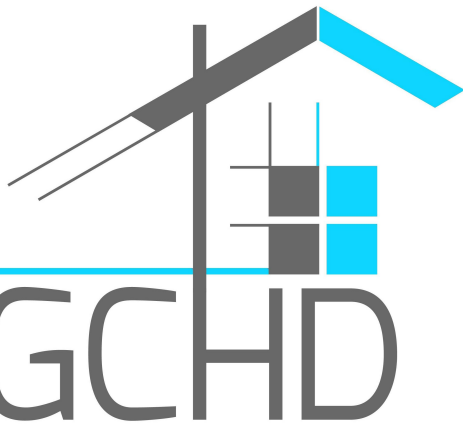
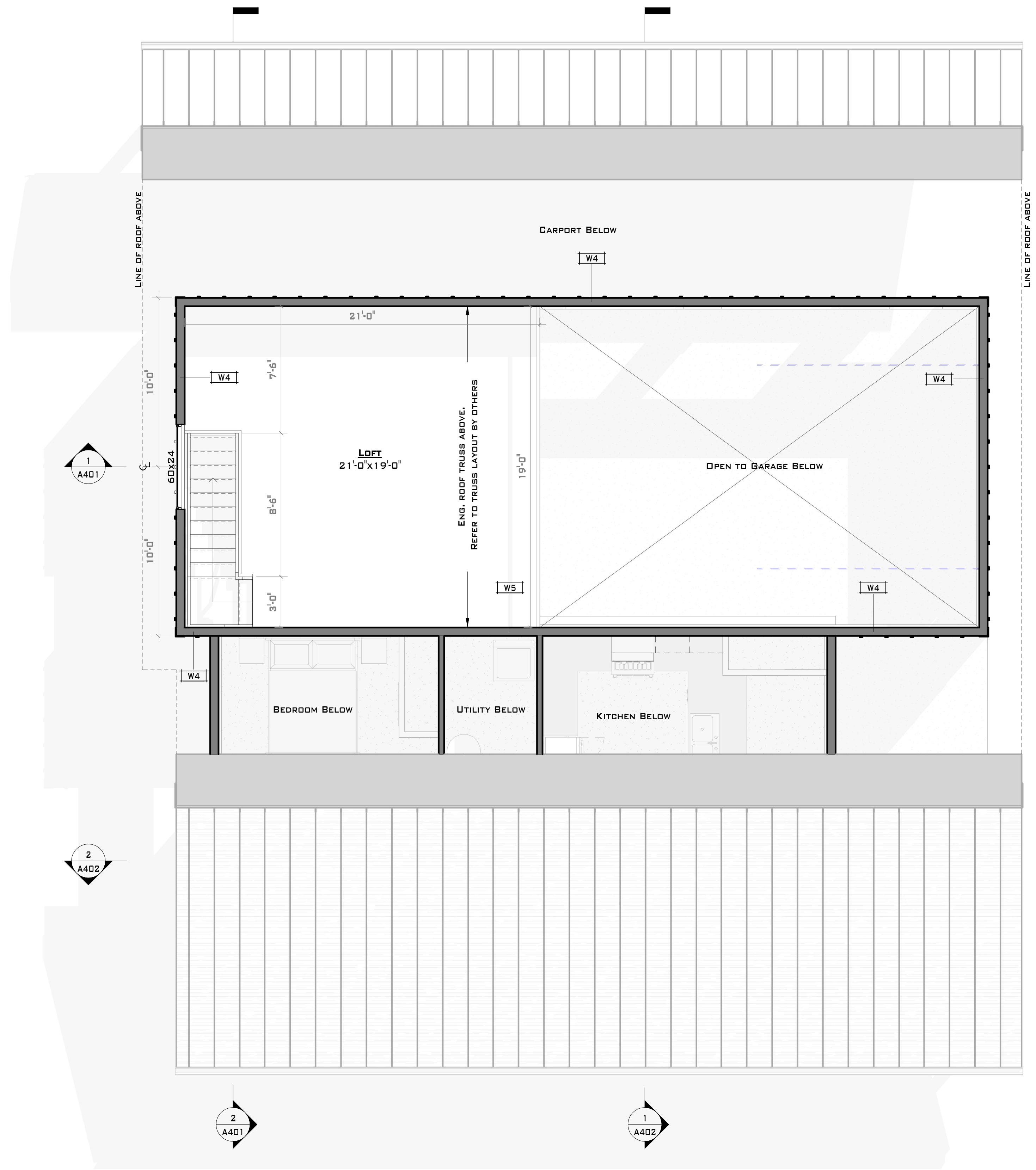
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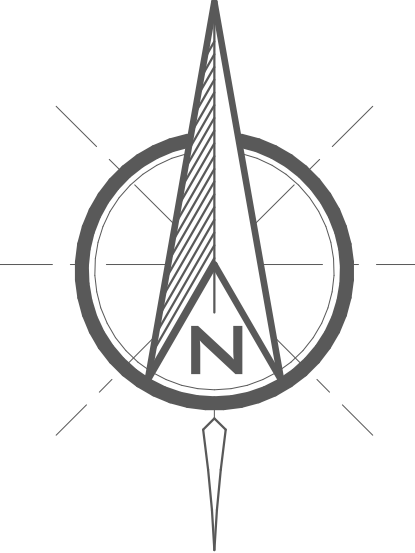
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DATE: JUNE 7, 2022
 JOB NO.: 220402
 SCALE: AS INDICATED

PROJECT TITLE
KILBACK RESIDENCE

SHEET NUMBER
A203

DRAWING TITLE
LOFT PLAN

1/4" = 1'-0"

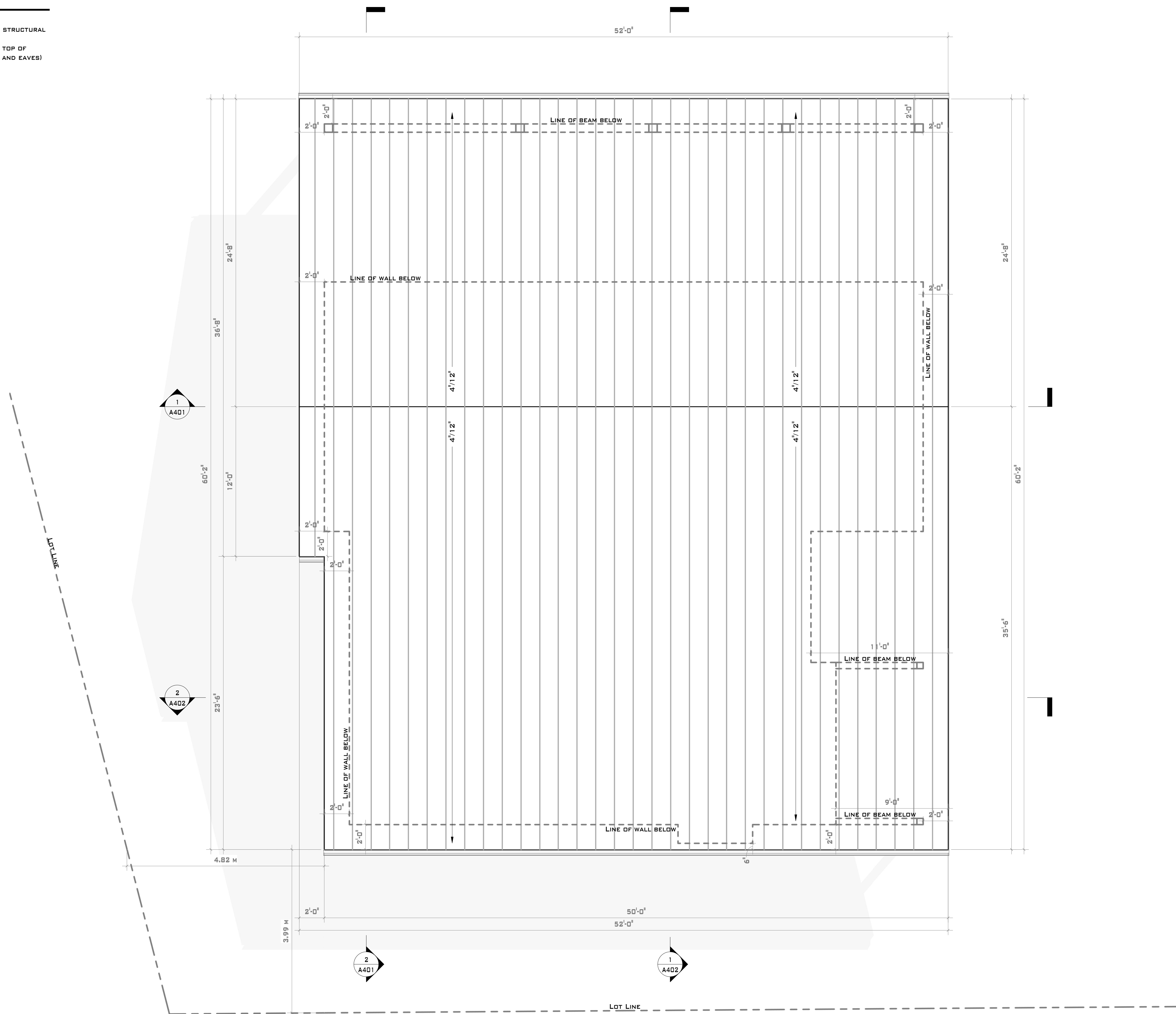
ROOF PLAN NOTES

1. LINE OF WALL BELOW REFERENCES TO EXTERIOR FACE OF WALLS.
2. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
3. VENT ROOF 1/300 9.19.1.2. 2018 BCBC - NOT LESS THAN 25% OF THE REQUIRED OPENINGS AT TOP OF SPACE. NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED THE BOTTOM OF THE SPACE (SOFFIT AND EAVES)

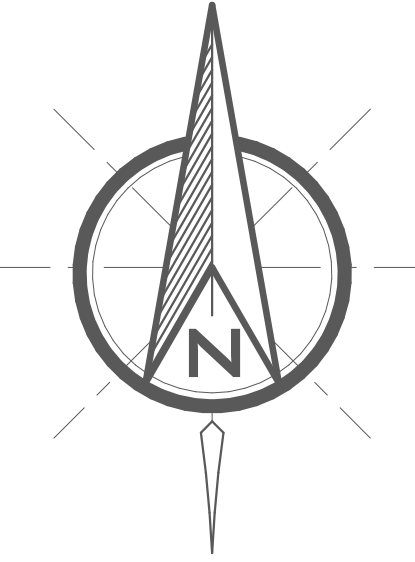
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 168 - 1458 PENTICTON AVE
 PENTICTON, BC V5A 8L3
 (250) 487 8278
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 GARTNERDESIGN@GMAIL.COM



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PROJECT TITLE
KILBACK RESIDENCE

SHEET NUMBER
A204

DRAWING TITLE
ROOF PLAN

1 ROOF
 1/4" = 1'-0"

ELEVATION & EXTERIOR NOTES

1. WINDOWS 9.7.4.2 2018 BCBC - ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO NAFS AND A440S1. MINIMUM RATING REQUIREMENT OF PG20 FOR BUILDINGS LESS THAN 10M IN HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED.
3. RESISTANCE TO FORCED ENTRY REQUIRED FOR WINDOWS WITHIN 2.0M OF FINISHED GRADE
4. FLASHING INSTALLATION 9.27.3.8.2018 BCBC - FLASHING REQUIRED ABOVE & BELOW ALL UNPROTECTED OPENINGS & HORIZONTAL TRANSITIONS. FLASHING TO BE MINIMUM 50MM UPWARDS INBOARD OF THE SHEATHING MEMBRANE. SLOPE NOT LESS THEN 6% TOWARDS THE EXTERIOR. TERMINATE AT EACH END WITH A DAM
5. NO SOFFIT MAY BE VENTED WITHIN 1.2M OF INTERIOR SIDE LOT LINES
6. STRUCTURAL WOOD ELEMENTS WITHIN 1'-6" OF FINISHED GRADE MUST BE PRESSURE TREATED
7. CONCRETE SHALL NOT BE PLACED AGAINST WOOD FRAMING
8. ALL GRADES TO SLOPE AWAY FROM PROJECT
9. BCBC 9.3.2.9. (3) A, - PROVIDE 6" (150MM) CLEARANCE FROM FINISHED GRADE TO FRAMING.
10. BCBC 9.2B.1.4. STUCCO FINISH SHALL NOT BE LESS THAN 8" (200MM) FROM FINISHED GRADE EXCEPT WHEN APPLIED OVER CONCRETE OR MASONRY

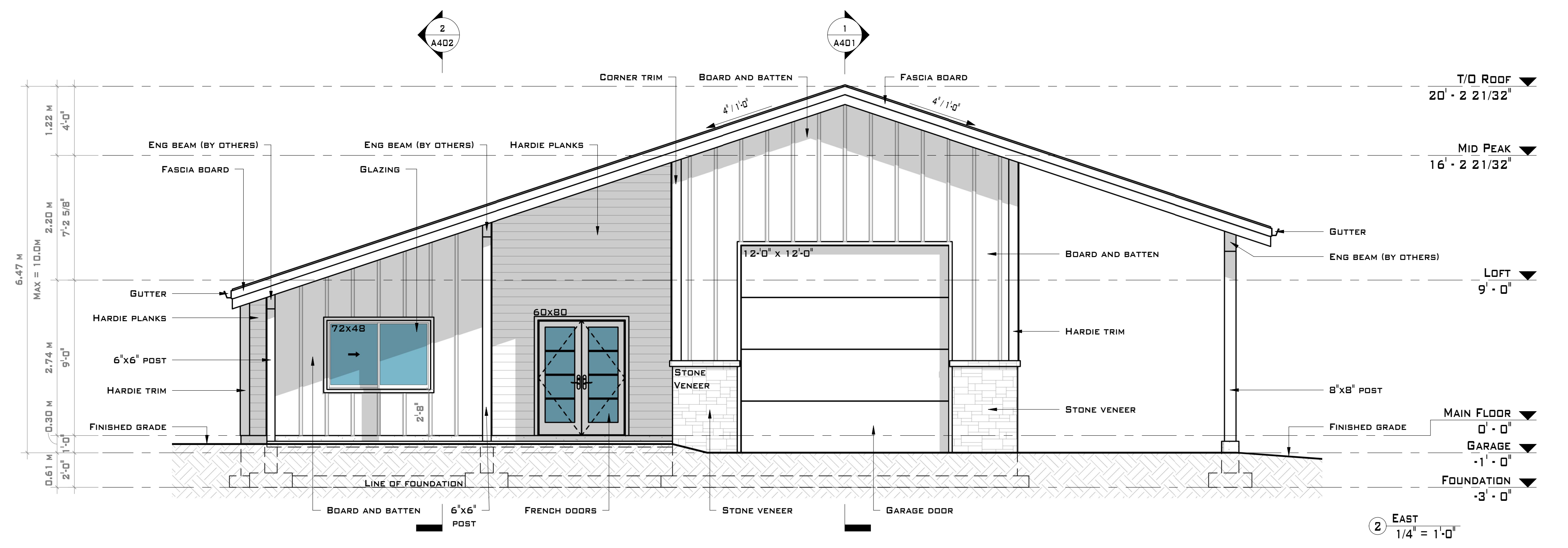
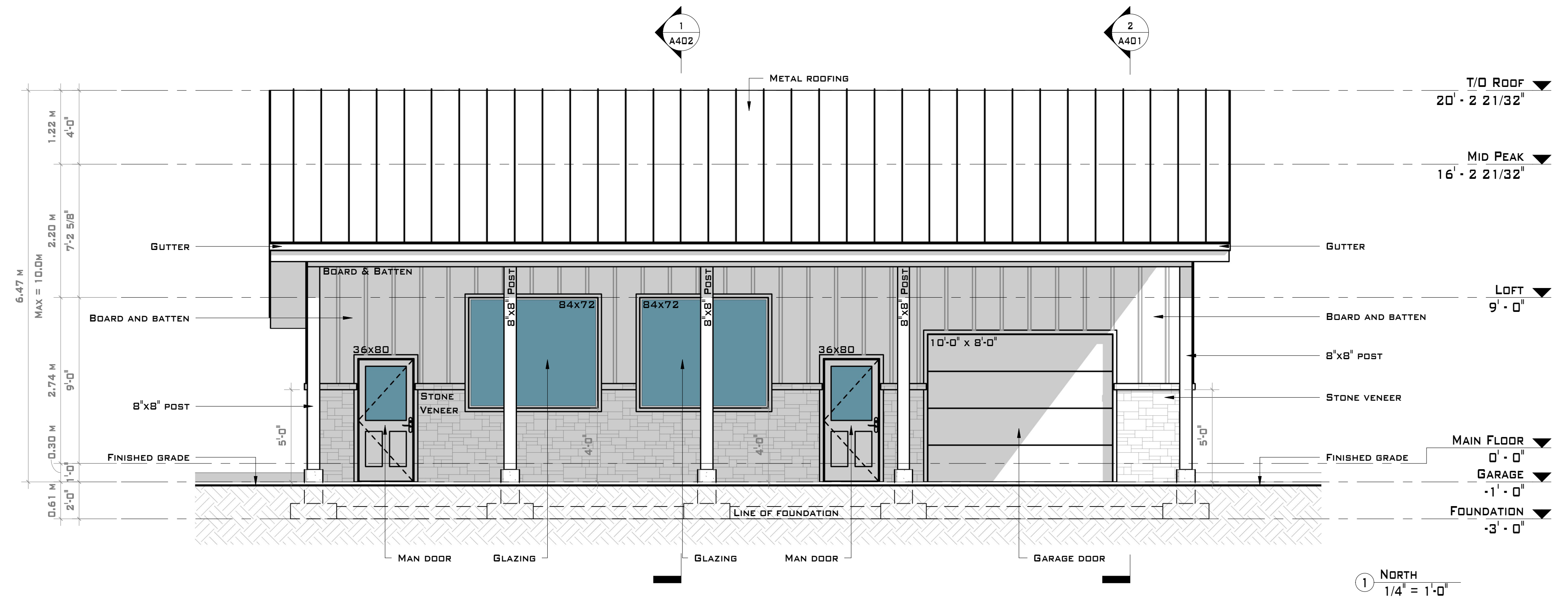
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PROJECT TITLE
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SHEET NUMBER

A301

DRAWING TITLE
NORTH & EAST ELEVATIONS

ELEVATION & EXTERIOR NOTES

1. WINDOWS 9.7.4.2 2018 BCBC - ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO NAFS AND A440S1. MINIMUM RATING REQUIREMENT OF PG20 FOR BUILDINGS LESS THAN 10M IN HEIGHT.
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10. BCBC 9.2B.1.4. STUCCO FINISH SHALL NOT BE LESS THAN 8" (200MM) FROM FINISHED GRADE EXCEPT WHEN APPLIED OVER CONCRETE OR MASONRY

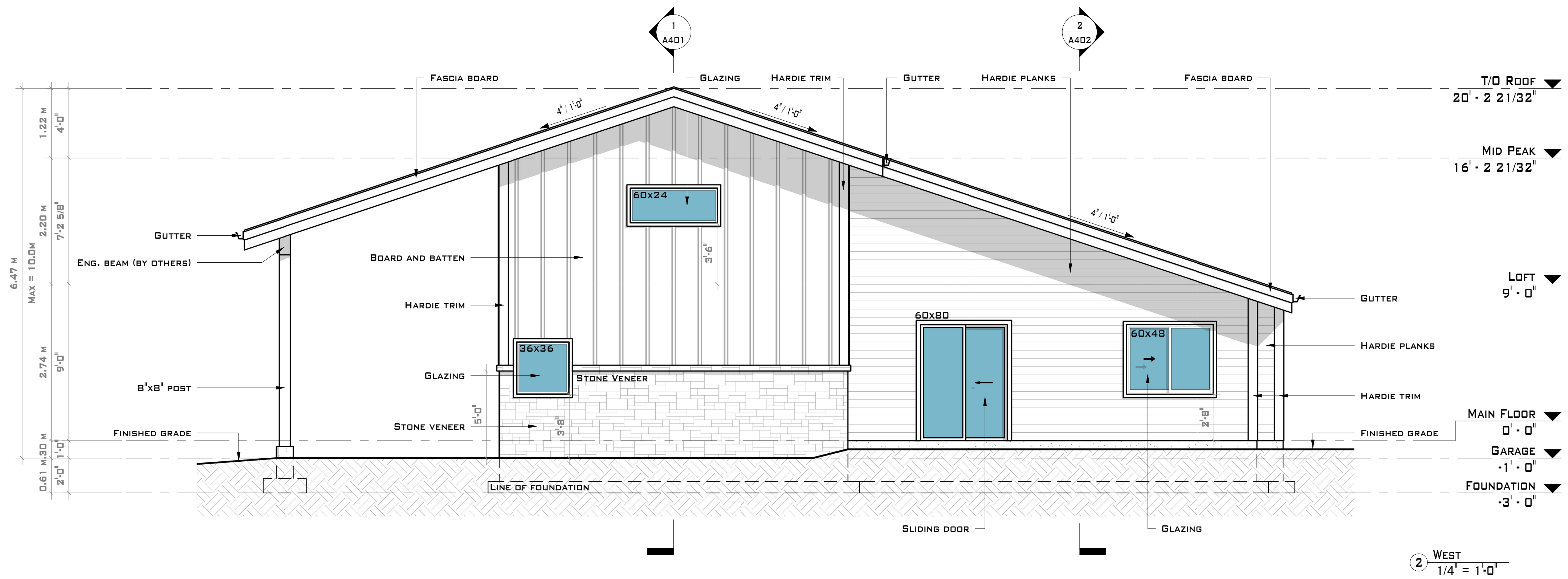
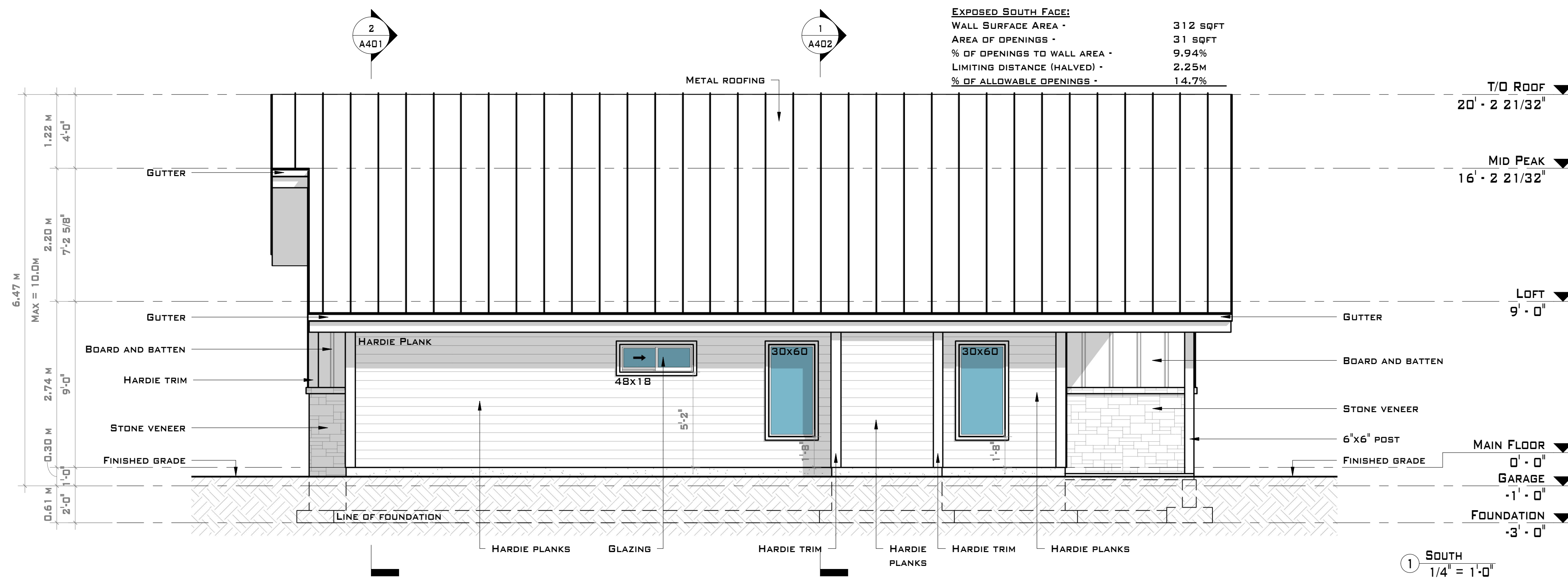
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PROJECT TITLE
KILBACK RESIDENCE
 SHEET NUMBER

A302

DRAWING TITLE
SOUTH & WEST ELEVATIONS

SECTION NOTES

1. POTLIGHTS AND AIR BARRIERS - POTLIGHTS IN ATTICS OR ROOF SPACES REQUIRE SITE BUILT AIRTIGHT BOX CONSTRUCTION AROUND THEM OR A RATED POLY BOOT WITH CONTINUOUS SOLID SUPPORTING BLOCKING BETWEEN THEM AND SHEET POLYETHYLENE AIR BARRIERS

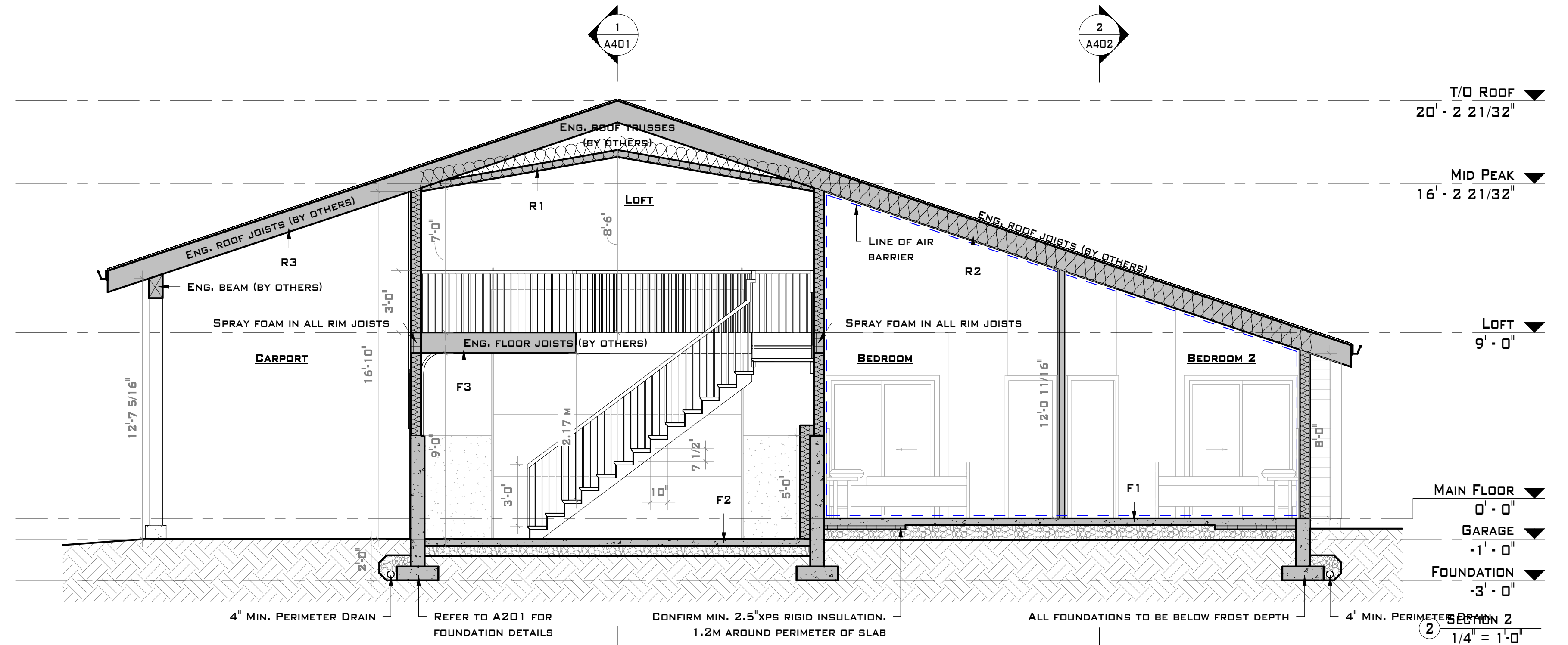
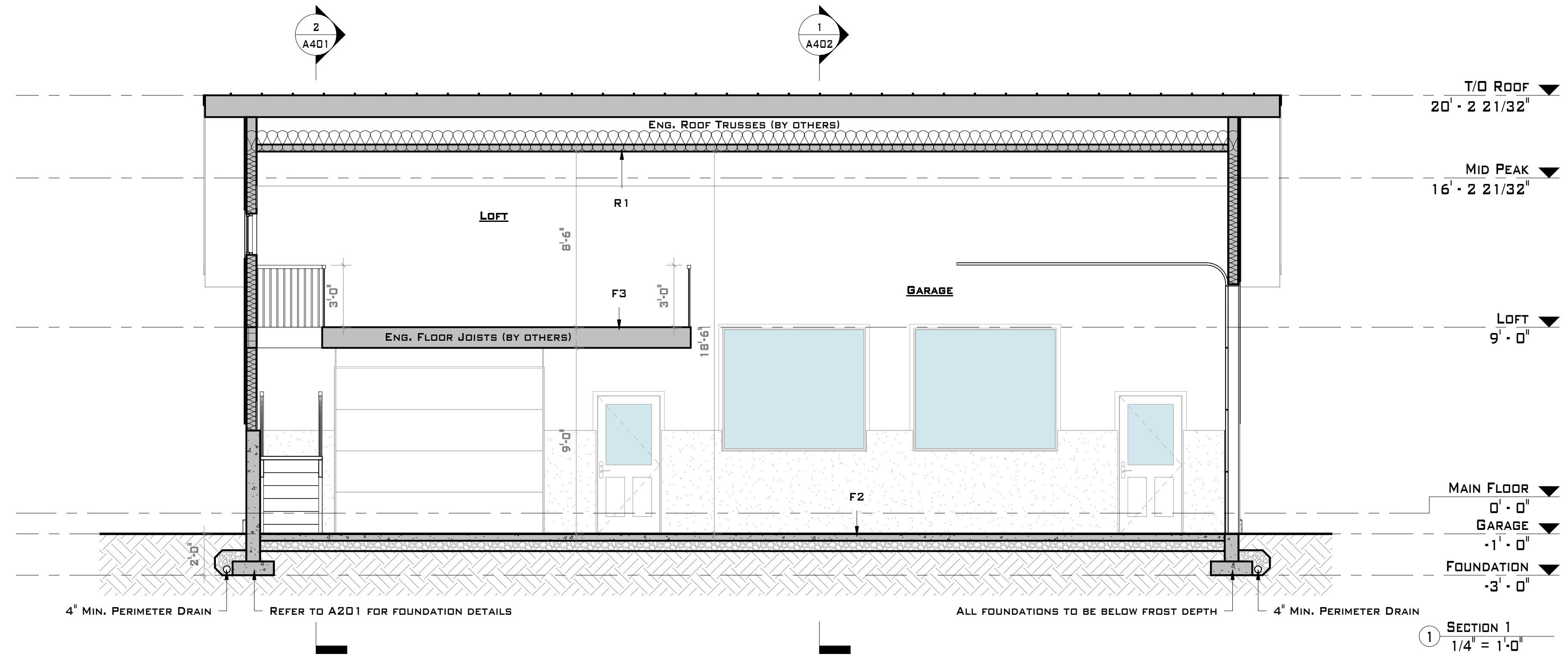
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PROJECT TITLE
KILBACK RESIDENCE
SHEET NUMBER

A401

DRAWING TITLE
SECTIONS

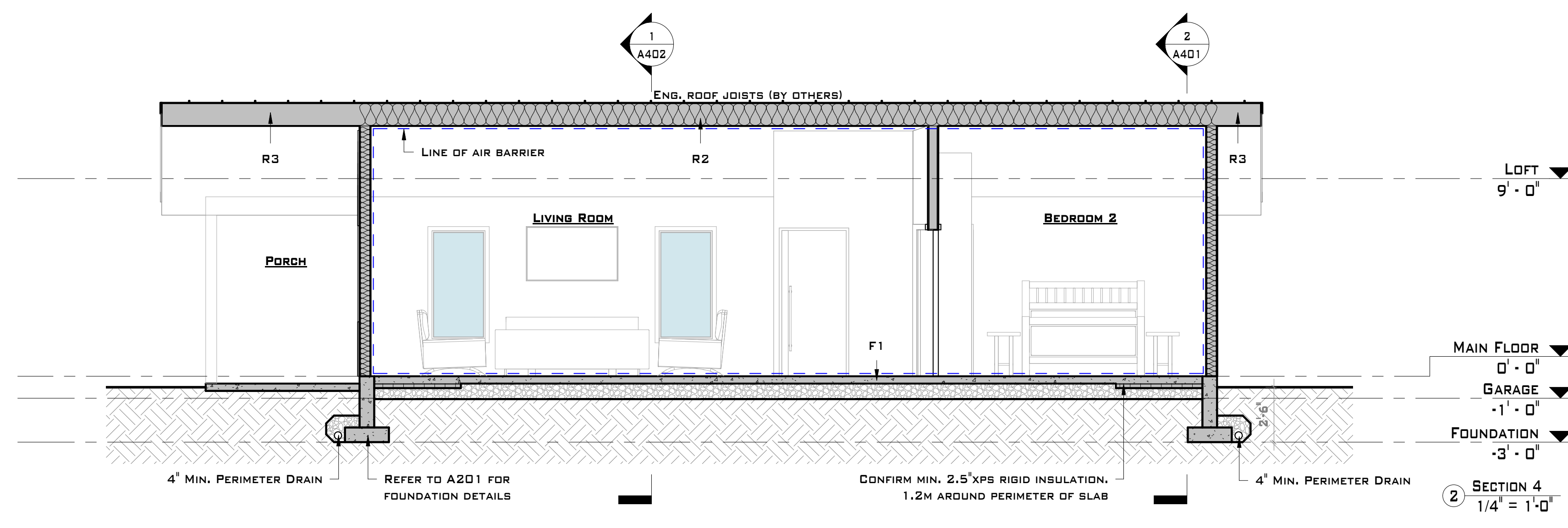
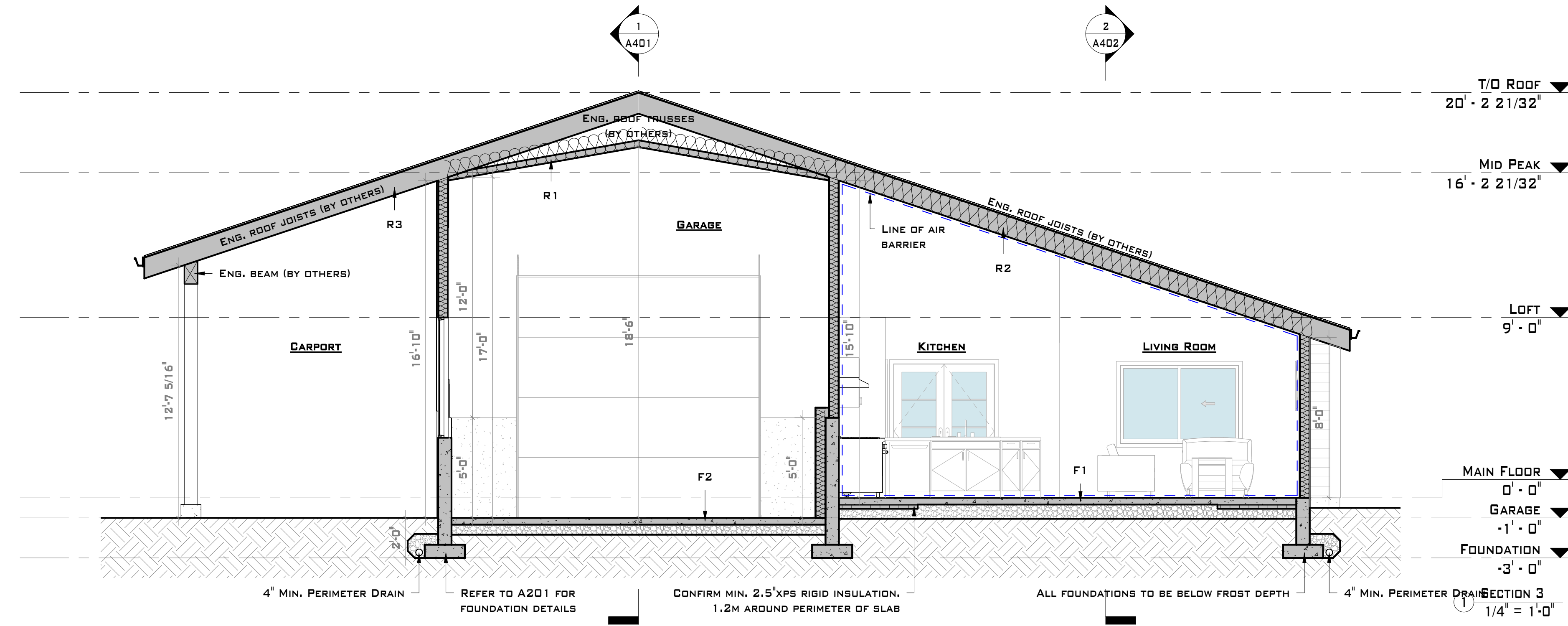
SECTION NOTES

1. POTLIGHTS AND AIR BARRIERS - POTLIGHTS IN ATTICS OR ROOF SPACES REQUIRE SITE BUILT AIRTIGHT BOX CONSTRUCTION AROUND THEM OR A RATED POLY BOOT WITH CONTINUOUS SOLID SUPPORTING BLOCKING BETWEEN THEM AND SHEET POLYETHYLENE AIR BARRIERS

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**KILBACK
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DRAWING TITLE

SECTIONS 2

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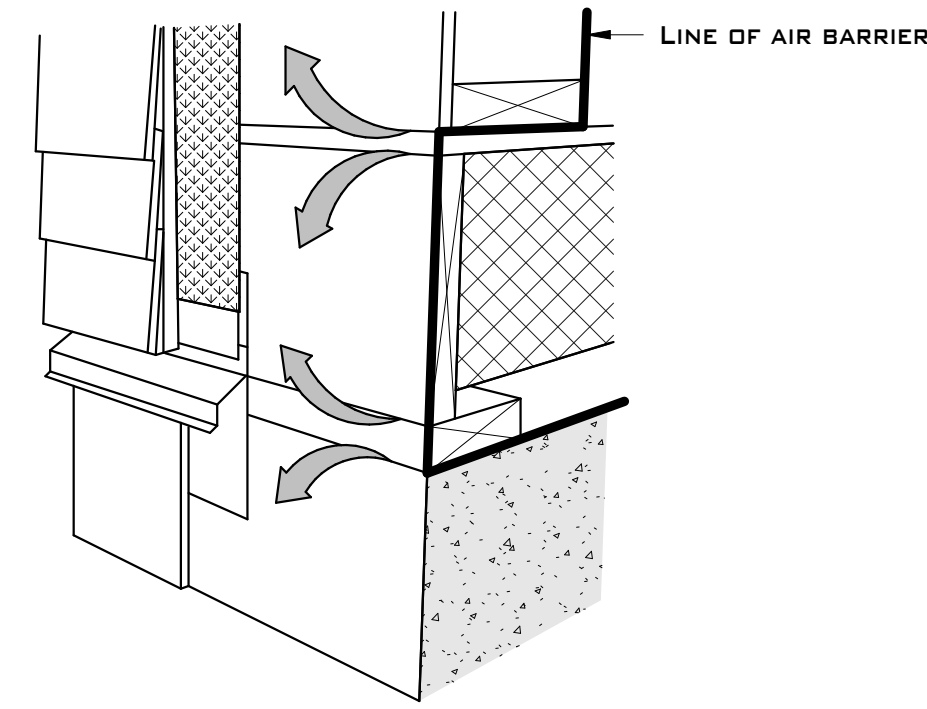
AIRTIGHTNESS

9.36.2.9

A CONTINUOUS AIR BARRIER IS REQUIRED. ARTICLE 9.36.2.9. REQUIRES THAT THE AIR BARRIER BE CONTINUOUS;

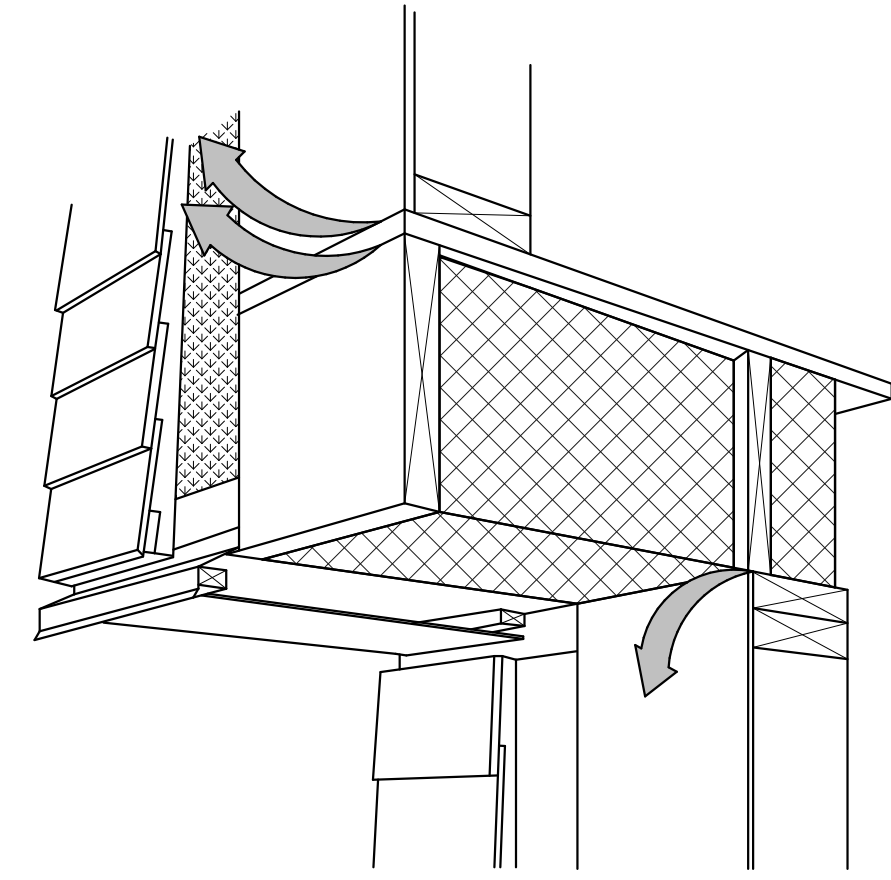
- ACROSS ALL JOINTS
- BETWEEN ASSEMBLIES
- AROUND PENETRATIONS

FURTHER REQUIREMENTS FOR AIR BARRIERS ARE DEFINED IN THE SUBSECTION 9.25.3. OF THE BRITISH COLUMBIA BUILDING CODE.



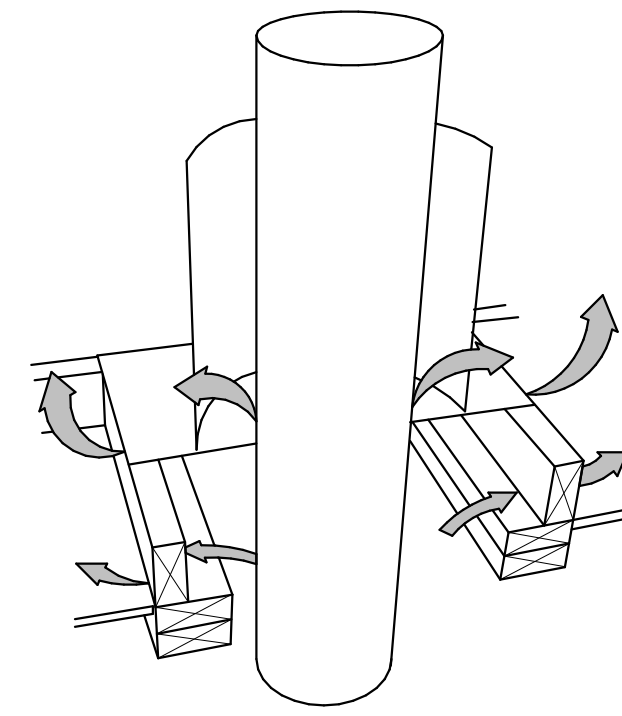
ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER.

○ FOUNDATION TO SILL PLATE & RIM JOISTS
1 1/2" = 1'-0"



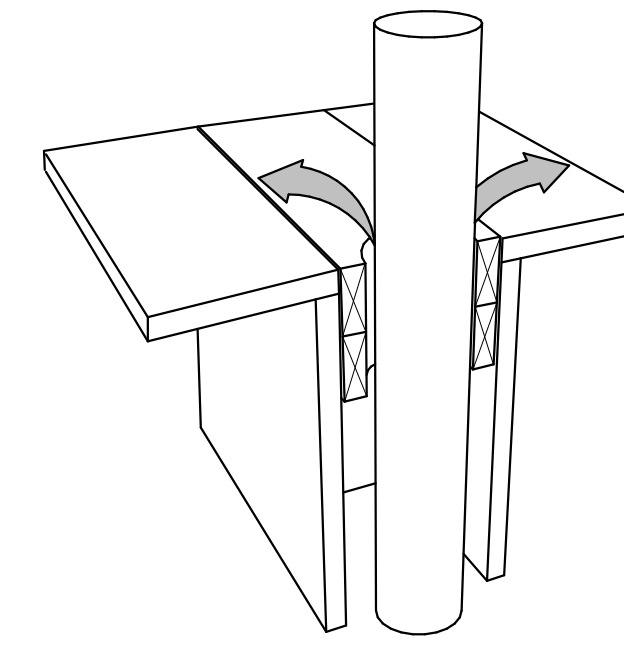
CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.

○ CANTILEVERED FLOORS
1 1/2" = 1'-0"



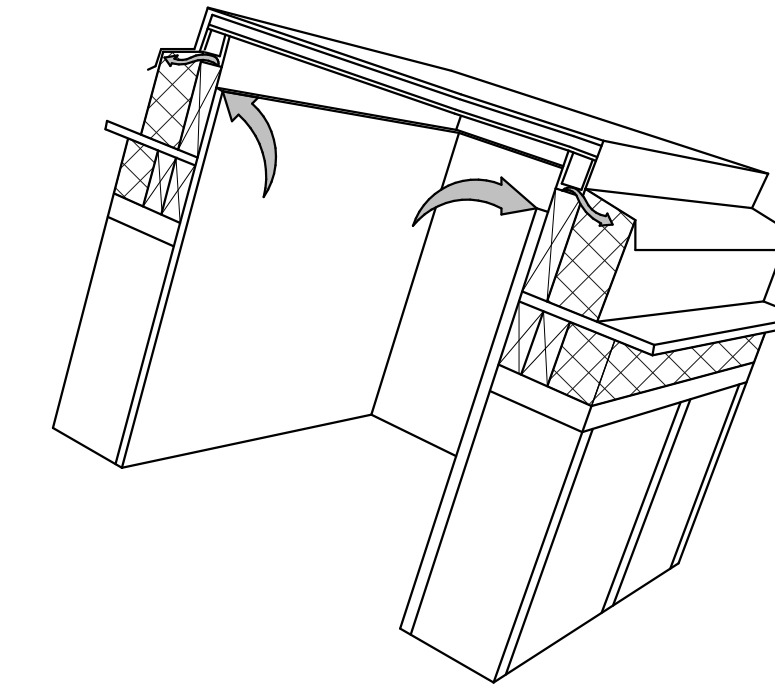
STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES.

○ MECHANICAL FLUES & CHIMNEYS
1 1/2" = 1'-0"



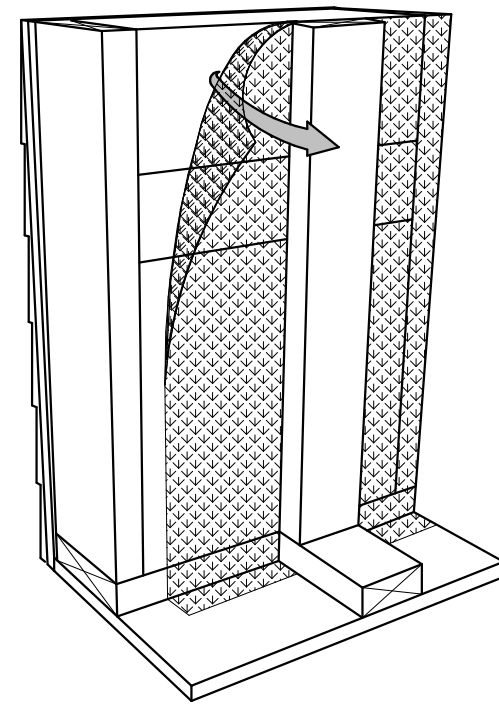
PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH COMPATIBLE MATERIAL OR SHEATHING TAPE, OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIRTIGHTNESS AND SEALING IT TO THE TDP PLATE.

○ PLUMBING STACKS
1 1/2" = 1'-0"



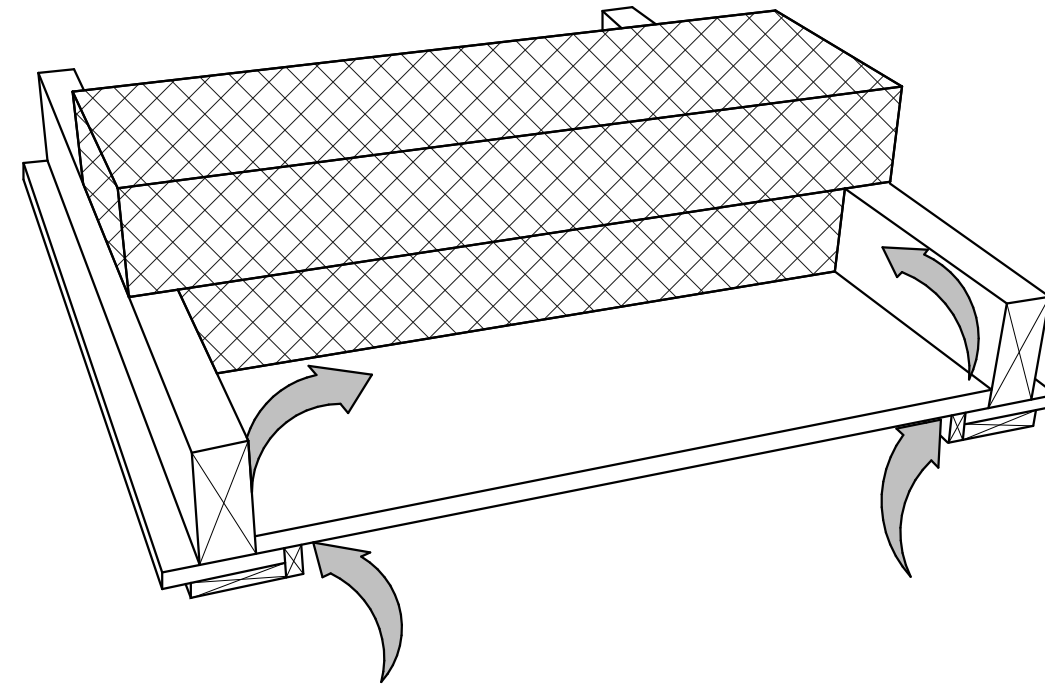
THE INTERFACE BETWEEN THE SKYLIGHT AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT

○ SKYLIGHTS
1 1/2" = 1'-0"



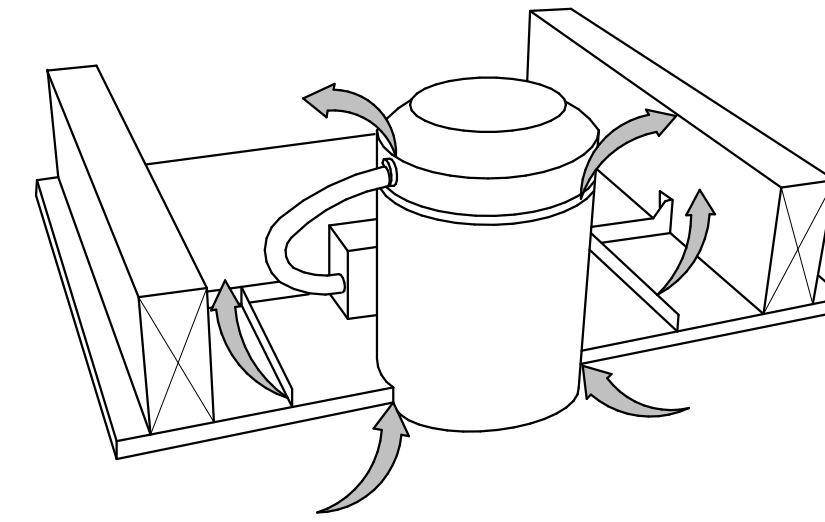
INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIRTIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL, OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL.

○ WALL INTERFACE
1 1/2" = 1'-0"



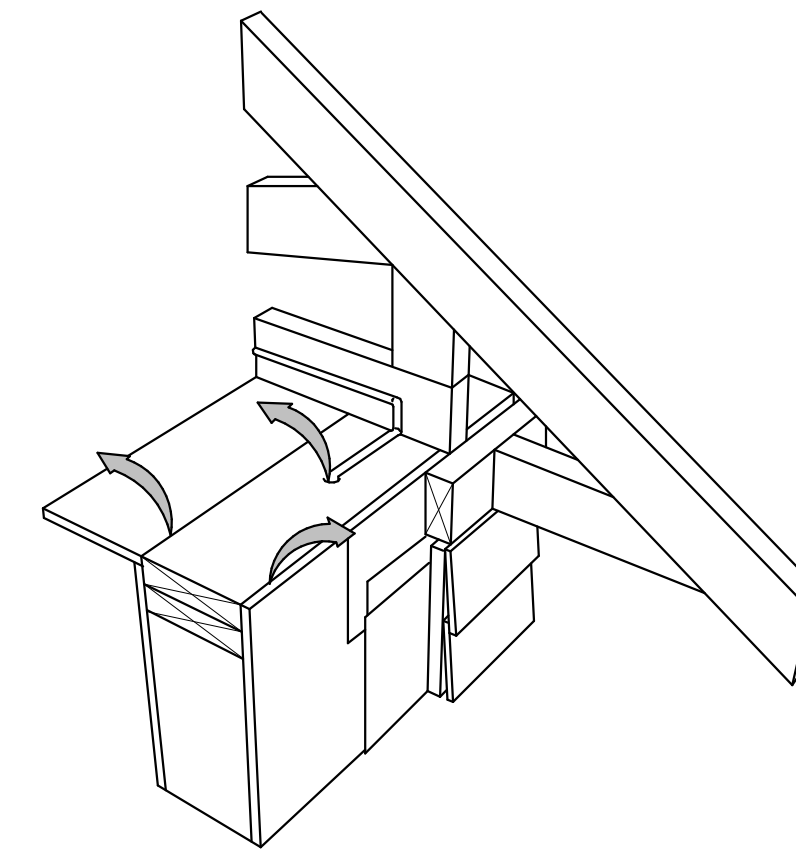
AIR LEAKAGE OCCURS THROUGH THE JOINT BETWEEN THE HATCH AND THE CEILING. THE HATCH IS MOST OFTEN A PIECE OF GYPSUM BOARD CUT TO SIZE RESTING ON A LEDGE MADE FROM WOOD TRIM OR THE EDGE OF THE CEILING. AIR SEALING CAN BE ACHIEVED BY ENSURING THE HATCH IS SIZED PROPERLY SO THAT IT HAS ENOUGH CONTACT WITH THE OPENING LEDGE AND PROVIDING A CLOSED CELL FOAM GASKET.

○ ATTIC HATCHES
1 1/2" = 1'-0"



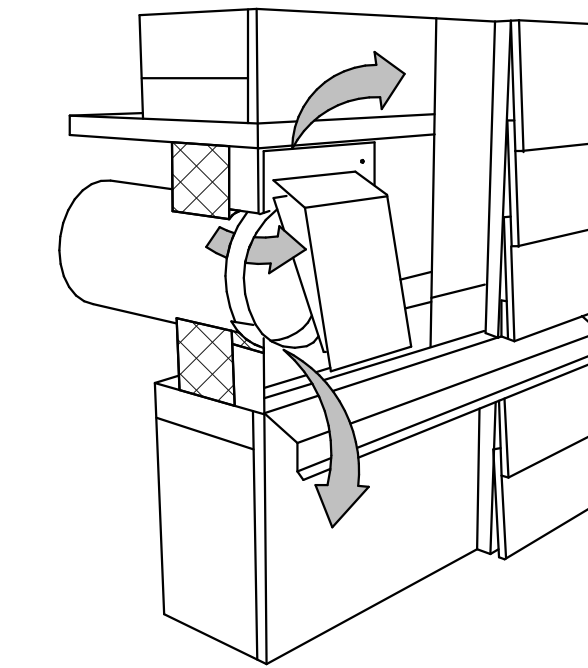
RECESSED POT LIGHT HOUSINGS ARE ONE OF THE MOST COMMON AIR LEAKAGE POINTS THROUGH THE CEILING PLANE INTO THE ATTIC. AIR LEAKAGE OCCURS BETWEEN THE HOUSING AND AIR BARRIER THROUGH THE FIXTURE HOUSING HOLES AND ITS ELECTRICAL CONNECTIONS. INSTALLING BOXES AROUND THE POT LIGHTS WHICH ARE SEALED TO THE AIR BARRIER IS AN EFFECTIVE WAY TO DEAL WITH THIS ISSUE

○ POT LIGHTS
1 1/2" = 1'-0"



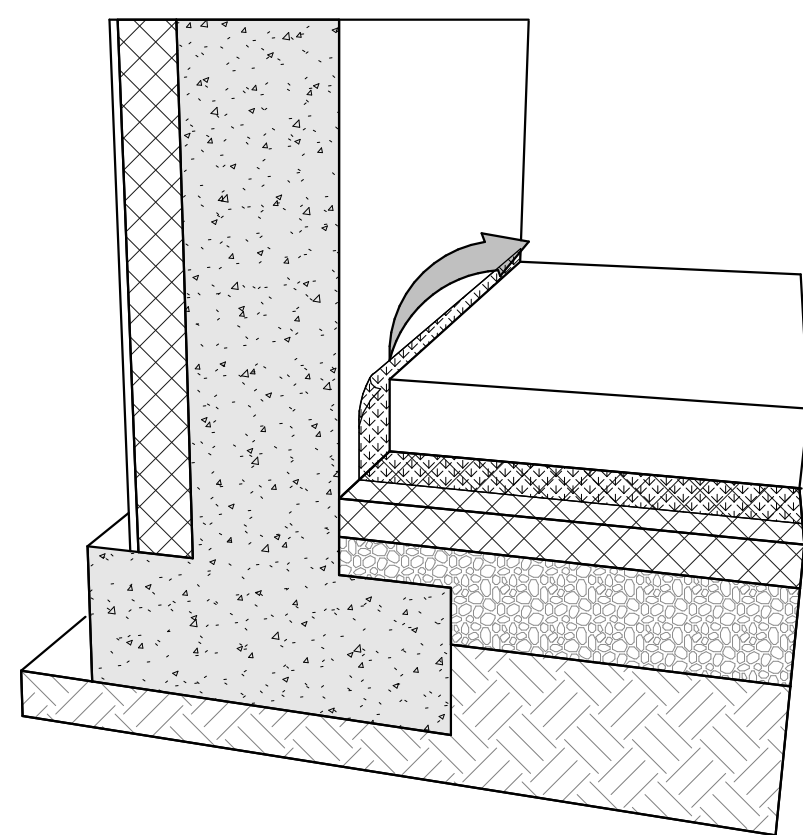
ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.

○ WALL TO CEILING
1 1/2" = 1'-0"



DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL.

○ WALL VENTED DUCTS
1 1/2" = 1'-0"



THE FLOOR SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR SLAB TO THE FOUNDATION WALL

○ SLAB FOUNDATION WALL
1 1/2" = 1'-0"



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KILBACK RESIDENCE

SHEET NUMBER

A501

DRAWING TITLE

AIR TIGHTNESS DETAILS