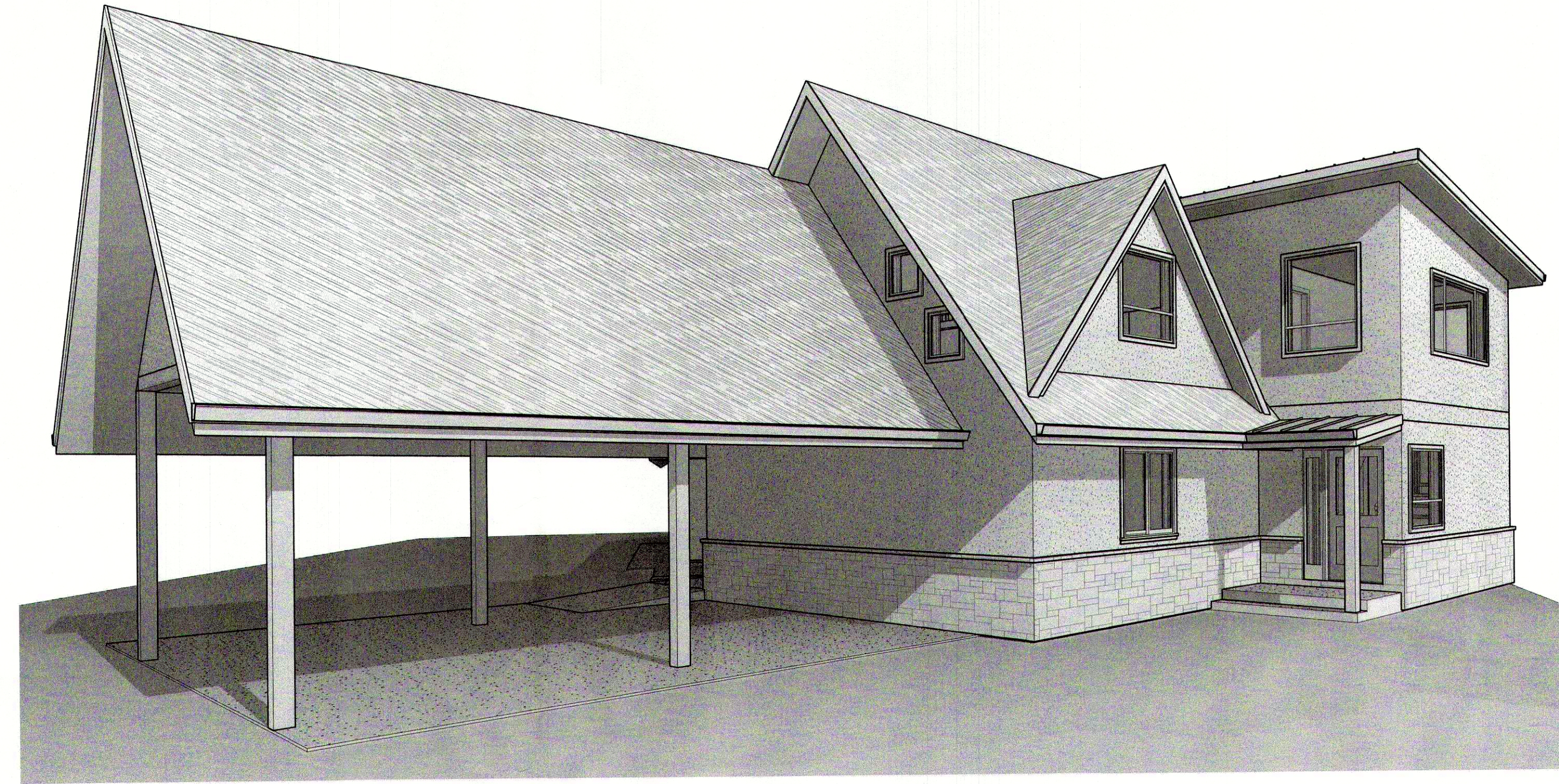


THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND DIMENSIONS TO THE DESIGNER

DO NOT SCALE ANY OF THE DRAWING SHEETS

THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER



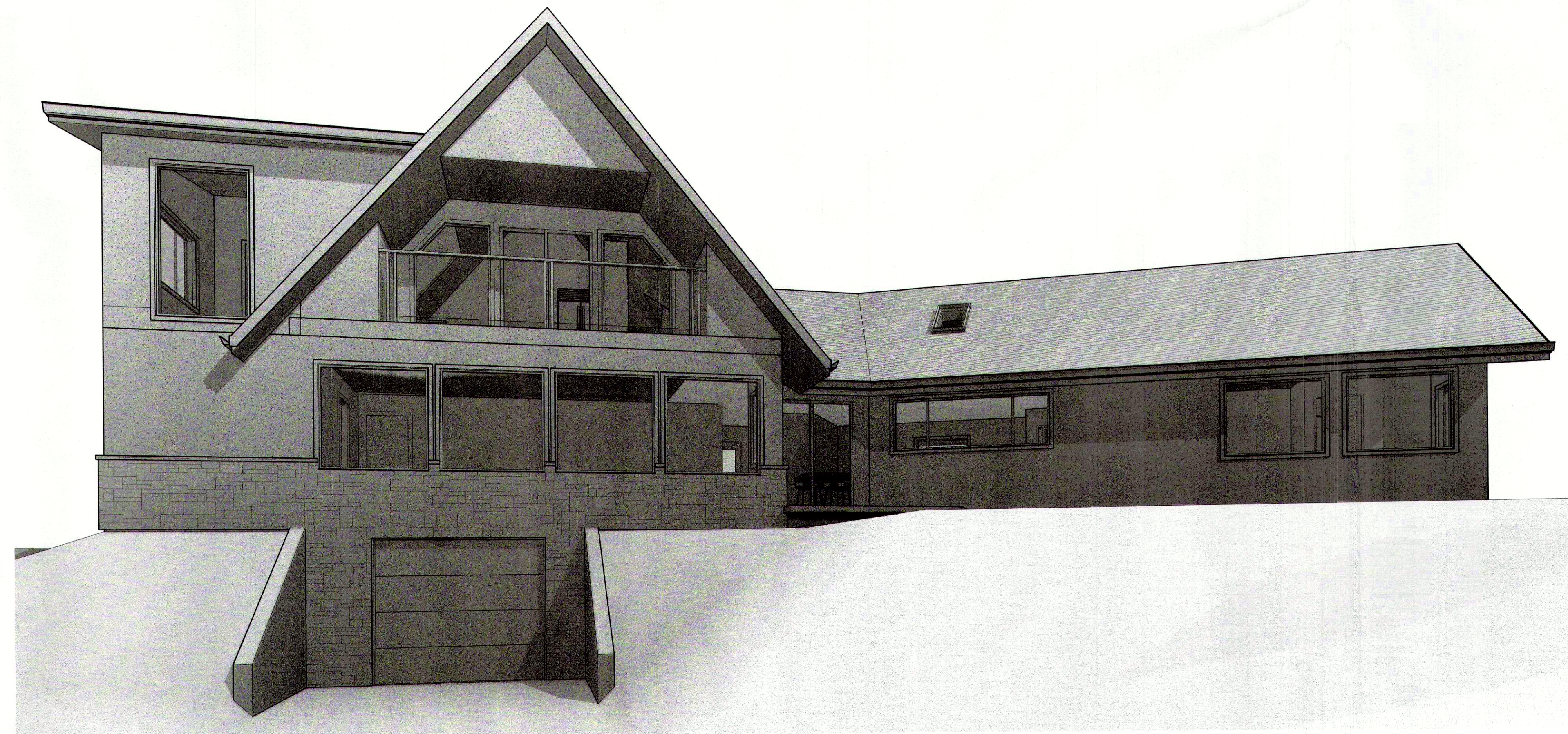
# HULSMANS RENOVATION

RESIDENTIAL BUILDING PERMIT DRAWINGS REGARDING:  
7002 INDIAN ROCK RD, NARAMATA, BRITISH COLUMBIA  
LEGAL DESCRIPTION:

### CONTACTS & DRAWING INDEX

GARTNER'S CUSTOM HOUSE DESIGNS  
CONTACT: CASEY GARTNER  
ADDRESS: 198 DARTMOUTH PLACE  
PENTICTON BC, V2A 7S4  
TEL: (250) 487-8278  
EMAIL: GARTNERDESIGN@GMAIL.COM

- A001 COVER PAGE & DRAWING INDEX
- A002 ASSEMBLIES & ENERGY EFFICIENCY
- A003 GENERAL NOTES & INSULATION DETAILS
- A101 SITE PLAN & SITE INFORMATION
- A201 FOUNDATION PLAN & RADON DETAILS
- A202 BASEMENT FLOOR PLAN
- A203 MAIN FLOOR PLAN
- A204 UPPER FLOOR PLAN
- A205 ROOF PLAN
- A301 NORTH & EAST ELEVATIONS
- A302 SOUTH & WEST ELEVATIONS
- A401 SECTIONS
- A501 AIR TIGHTNESS DETAILS



PRELIMINARY PLANS - FOR REVIEW ONLY



GARTNER'S CUSTOM HOUSE DESIGNS  
198 DARTMOUTH AVE | PENTICTON |  
BC | V2A 7S4  
(250) 487 8278  
WWW.GARTNERDESIGNS.COM  
GARTNERDESIGN@GMAIL.COM

THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER.

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
JOB NO.: 230401  
SCALE:

PROJECT TITLE  
**HULSMANS RENOVATION**

SHEET NUMBER  
**A001**

DRAWING TITLE  
**COVER PAGE & DRAWING INDEX**



# FLOOR PLAN NOTES

1. ALL WINDOW AND DOOR SIZES TO BE SHOWN IN INCHES (30X80) FIRST DIMENSION BEING WIDTH, SECOND DIMENSION BEING HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
3. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
4. ALL SMOKE ALARMS AND CO DETECTORS TO BE HARD WIRED & INTERCONNECTED.
5. ROOF TRUSSES ABOVE ARE TO PROVIDE FLAT CEILINGS UNLESS OTHERWISE NOTED UNDER ROOM TAG.
6. ALL WALLS TO BE W6 UNLESS OTHERWISE NOTED
7. ALL NOTED LEDGERS TO BE 2X10 AND ATTACHED TO WALL BY TWO 1/2" DIA. FASTENER BOLTS STAGGERED @ 16" O.C.
8. SMOKE ALARMS 9.10.19. 2018 BCBC - ALARMS SHALL CONFORM TO CAN/ULC-S531, AND SHALL BE INSTALLED SO THAT A) THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY INCLUDING BASEMENTS, AND B) ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM: I) IN EACH SLEEPING ROOM, AND II) OUTSIDE EACH BEDROOM CORRIDOR
9. EGRESS FROM BEDROOMS 9.9.10.1.2. 2018 BCBC - EXCEPT WHERE SPRINKLERED, ALL BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW THAT OPENS FROM THE INSIDE. SUCH WINDOWS SHALL HAVE AN UNOBSTRUCTED OPENING OF 0.35M2 (3.77 SQFT) IN AREA WITH NO INSIDE DIMENSION LESS THAN 380MM (15")
10. CARBON MONOXIDE 9.32.4.2. 2018 BCBC - SHALL CONFORM TO CAN/CSA-6.19, CO'S REQUIRED IN RESIDENTIAL OCCUPANCY AND THAT ALSO CONTAINS: A) A FUEL-BURNING APPLIANCE, OR B) A STORAGE GARAGE. CO'S SHALL BE LOCATED IN A) INSIDE EACH BEDROOM, OR B) OUTSIDE EACH BEDROOM, WITHIN 5M OF EACH BEDROOM DOOR, MEASURED FOLLOWING CORRIDORS AND DOORWAYS
11. PRINCIPAL VENTILATION EXHAUST FAN 9.32.3.5. 2018 BCBC - DESIGNED TO RUN CONTINUOUSLY AND CONTROLLED BY A DEDICATED SWITCH WITH TWO SETTINGS ON AND OFF. SWITCH LOCATED SOMEWHERE NOT LIKELY TO BE TURNED OFF. LABELED "PRINCIPAL VENTILATION EXHAUST FAN" SOUND RATING SHALL NOT EXCEED 1.0 SONE WHEN RUNNING CONTINUOUSLY
12. WATER HAMMER 2.6.1.9. 2018 BCPC - WATER HAMMER ARRESTORS ARE REQUIRED ON DISHWASHERS, WASHING MACHINES AND ANY APPLIANCES WITH QUICK CLOSING VALVE.

# MECH. NOTES

1. HWT PIPING 9.36.4.4 (1) 2018 BCBC - THE INLET AND OUTLET OF HWT, STORAGE TANK OR HEATING VESSEL REQUIRES 12MM (0.5") WALL INSULATION, A MINIMUM OF 2M (6'). PIPING WITHIN AN INSULATED INTERIOR WALL WOULD BE CONSIDERED INSULATED. THE REMAINDER OF THE PIPING FROM THE WALL BACK TO THE TANK OR VESSEL IS REQUIRED TO BE INSULATED AS SPECIFIED
2. EXPANSION TANK 2.6.1.11 2018 BCBC - A DIAPHRAGM EXPANSION TANK OR, THERMAL EXPANSION RELIEF VALVE, IS REQUIRED ON THE WATER DISTRIBUTION SYSTEM. INSTALL ACCORDING TO MANUFACTURE INSTRUCTIONS/
3. WATER PIPING SIZE 2.6.3.4. 2018 BCPC - WATER PIPING NEEDS TO BE DESIGNED AND INSTALLED TO MEET THE HYDRAULIC LOAD (FU'S) FOR ALL FIXTURES DOWNSTREAM OF THE WATER SERVICE PIPE AND METER IN THE WATER DISTRIBUTION SYSTEMS
4. WATER METER REQUIREMENTS, PUBLIC WORKS - INSTALL SHUTOFFS LOCATED UPSTREAM AND DOWNSTREAM OF THE METER TO ISOLATE. ENSURE THE METER IS SUPPORTED AND ACCESSIBLE. DO NOT COVER OR LIMIT ACCESS TO THE METER WIRE LOCATED INSIDE OR OUTSIDE THE BUILDING

# FOUNDATIONS NOTES

## FOOTINGS & FOUNDATIONS

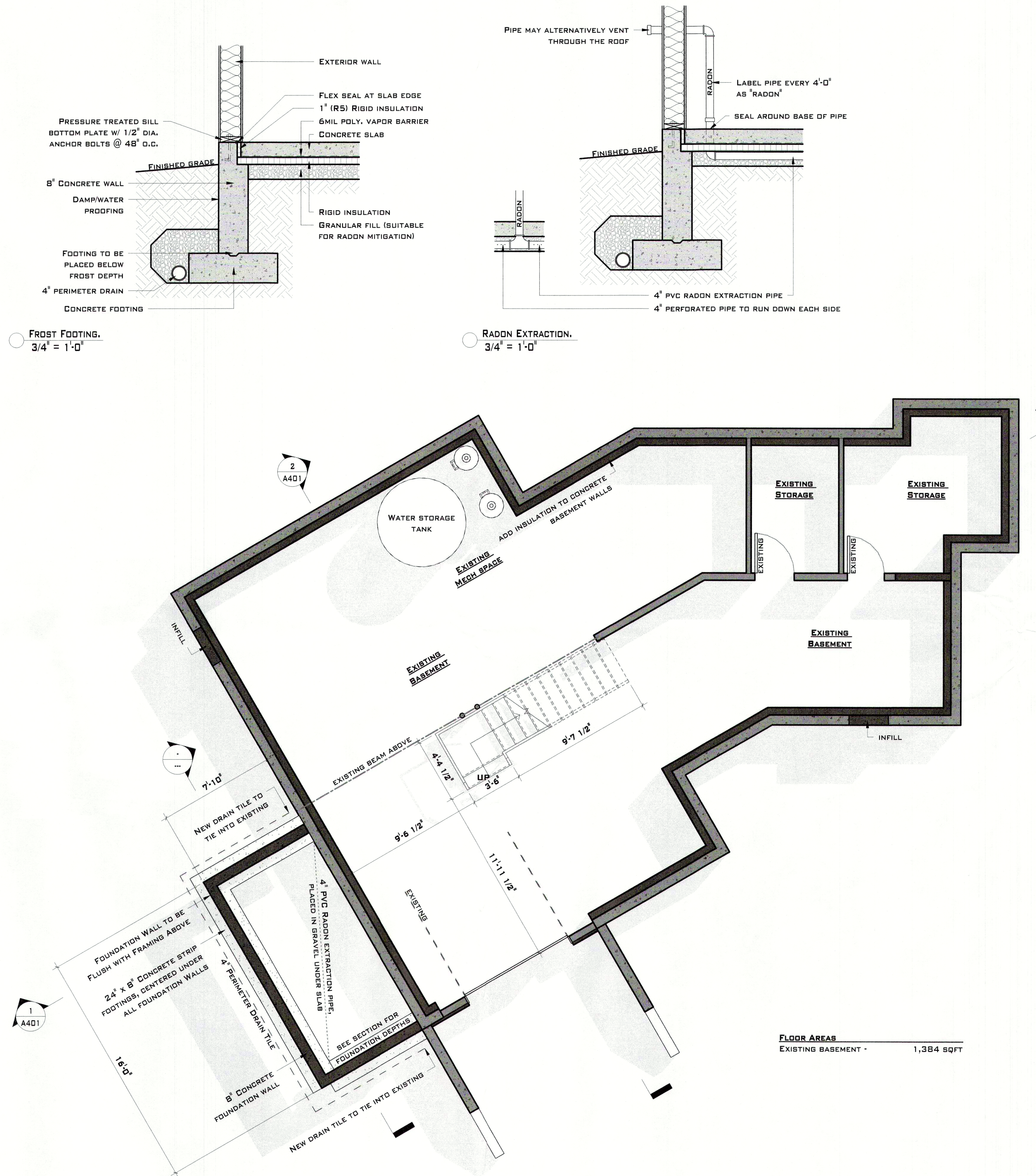
1. CONCRETE TO BE A MINIMUM COMPREHENSIVE STRENGTH OF 25 MPA CORROSIVE RES. AT 28 DAYS UNLESS NOTED OTHERWISE WHILE GARAGES, CARPORTS, AND EXTERIOR STEPS ARE TO BE AT 32 MPA
2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL AT AN ELEVATION BELOW FROST PENETRATION
3. FOOTINGS SHOWN ON THIS DRAWING HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 PSF
4. ALL FOUNDATION WALLS ARE TO HAVE ONE HORIZONTAL 10M R-BAR INSIDE OF CENTERS 4" FROM THE TOP OF THE CORNER REINFORCING BARS TO BE LAPPED MIN 24"
5. ALL STRIP FOOTINGS ARE TO HAVE CONTINUOUS 10M R-BARS
6. 10M R-BARS AT 6" O.C. EACH WAY ARE RECOMMENDED IN ALL PAD FOOTINGS
7. 4" MINIMUM OF AT LEAST 3/4" RADON ROCK IS TO BE USED UNDER ANY FOUNDATION SLABS
8. HORIZONTAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 24" O.C. LESS THEN 12" FROM TOP W/ 1" OF COVER
9. VERTICAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 10" O.C. LESS THAN 24" FROM OPENINGS W/ 1" OF COVER
10. BOTTOM FOUNDATION WALL LATERAL SUPPORT METHOD TO BE 15M WET DOWEL SPACED @ 48" O.C.
11. PAD FOOTINGS ARE REQUIRED TO BE 26" X 26" X 10" MINIMUM. UNLESS OTHERWISE NOTED
12. FOR PAD FOOTING REINFORCEMENT USE THREE 12" ANGLED R-BARS FROM FOOTING TO FOUNDATION
13. PROVIDE 1/2" DIAMETER ANCHOR BOLTS @ 8" O.C.
14. ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT
15. ENSURE 24" FROST PROTECTION FOR ALL FOOTINGS
16. FOR ALL PROPOSED CONCRETE TO EXISTING CONCRETE CONNECTIONS, DRILL 1/2" DIA. HOLES INTO EXISTING CONCRETE MIN. 4" IN DEPTH. EPOXY AND 10M R-BAR TO BE INSTALLED FROM PROPOSED CONCRETE INTO DRILLED HOLES.

## 9.13.4.3. PROVIDING FOR THE ROUGH-IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM

1. INSTALL A MIN. 4" DIA. PVC PIPE LABELED AS PER 9.16.2.1.(1) & 9.13.4. OF THE 2018 BCBC AND AS SHOWN ON THE ATTACHED DRAWINGS. ENSURE THAT THE END IS BURIED UNDER THE SLAB OR GROUND COVER AND IS COVERED WITH A SCREENED MATERIAL AND SECURED TO PIPE TO PREVENT ANY OF THE COMPACTED GRANULAR FILL FROM ENTERING THE OPEN END OF THE PIPE. ENSURE A MIN OF 4" GRANULAR FILL AS PER 9.16.2.1(1) OF THE 2018 BCBC
2. INSTALL THE REQUIRED POLY VAPOR BARRIER OVER THE ENTIRE AREA AND WRAP UP ANY VERTICAL SURFACES AND SEAL WHERE POSSIBLE. ENSURE VAPOR BARRIER IS INSTALLED WITHOUT GAPS, TEARS OR HOLES, ALL LAP JOINTS TO BE TAPPED.
3. INSTALL A PVC PIPE UPSTAND AS PER A-9.13.4.3.(2)(b) & (3)(b)(i) OF THE 2018 BCBC. PROVIDE AN AIR-TIGHT CAP LABELED "RADON" FOR FUTURE USE AFTER TESTING IS COMPLETE. UPSTAND TO EXTEND 3" ABOVE FINISHED SLAB OR TO A HEIGHT IN ORDER TO CONNECT TO AN EXHAUST FAN.
4. INSTALL REINFORCEMENT AS REQUIRED AND POUR SLAB OR GROUND COVER
5. TESTING FOR RADON CAN BE COMPLETED AFTER THE BUILDING ENVELOPE IS AIR-TIGHT. INFORM YOUR COORDINATING REGISTERED PROFESSIONAL FOR RADON GAS TESTING AND CERTIFICATION.
6. IF THE TEST RESULTS ARE NEGATIVE, PLACE A PERMANENT CAP ON THE UPSTAND AND LABEL THE TOP OF THE PIPE ACCORDINGLY AS "NEGATIVE" INCLUDE RESULTS AND TEST DATE OF THE TEST.
7. IF THE TEST RESULTS ARE POSITIVE, INSTALL A MECHANICAL EXHAUST FAN AND ASSOCIATED DUCTWORK TO PROVIDE APPROPRIATE CONTINUOUS VENTING TO THE EXTERIOR THROUGH AN ENCLOSED SHAFT (AND IF NECESSARY, FIRE-RATED). COORDINATION BETWEEN THE ARCHITECTURAL DESIGNER AND THE MECHANICAL DESIGNER MAY BE NECESSARY. AS AN ALTERNATIVE, PROVIDE A SEPARATE DUCT SHAFT IN TANDEM WITH A B-VENT (OR SIMILAR) TO EXHAUST TO THE ROOF OR THROUGH AN EXTERIOR WALL.

## OTHER NOTES

1. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
2. EXISTING DRAINAGE SYSTEM, FOOTINGS, & FOUNDATIONS HAVE NOT BEEN OBSERVED BY GCHD. SHOWN FOUNDATIONS AND FOOTINGS ARE ASSUMED AND SHOWN TO CONVEY NOTES



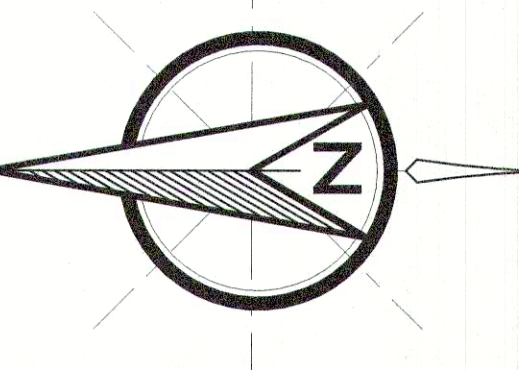
FROST FOOTING.  
3/4" = 1'-0"

RADON EXTRACTION.  
3/4" = 1'-0"

FLOOR AREAS  
EXISTING BASEMENT - 1,384 SQFT



GARTNER'S CUSTOM HOUSE DESIGNS  
198 DARTMOUTH AVE | PENTICTON |  
BC | V2A 7S4  
(250) 487 6278  
WWW.GARTNERDESIGNS.COM  
GARTNERDESIGN@GMAIL.COM



THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
JOB NO.: 230401  
SCALE: AS INDICATED

PROJECT TITLE  
**HULSMANS RENOVATION**

SHEET NUMBER  
**A204**

DRAWING TITLE  
**BASEMENT FLOOR PLAN**

1 BASEMENT  
1/4" = 1'-0"

PRELIMINARY PLANS - FOR REVIEW ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER

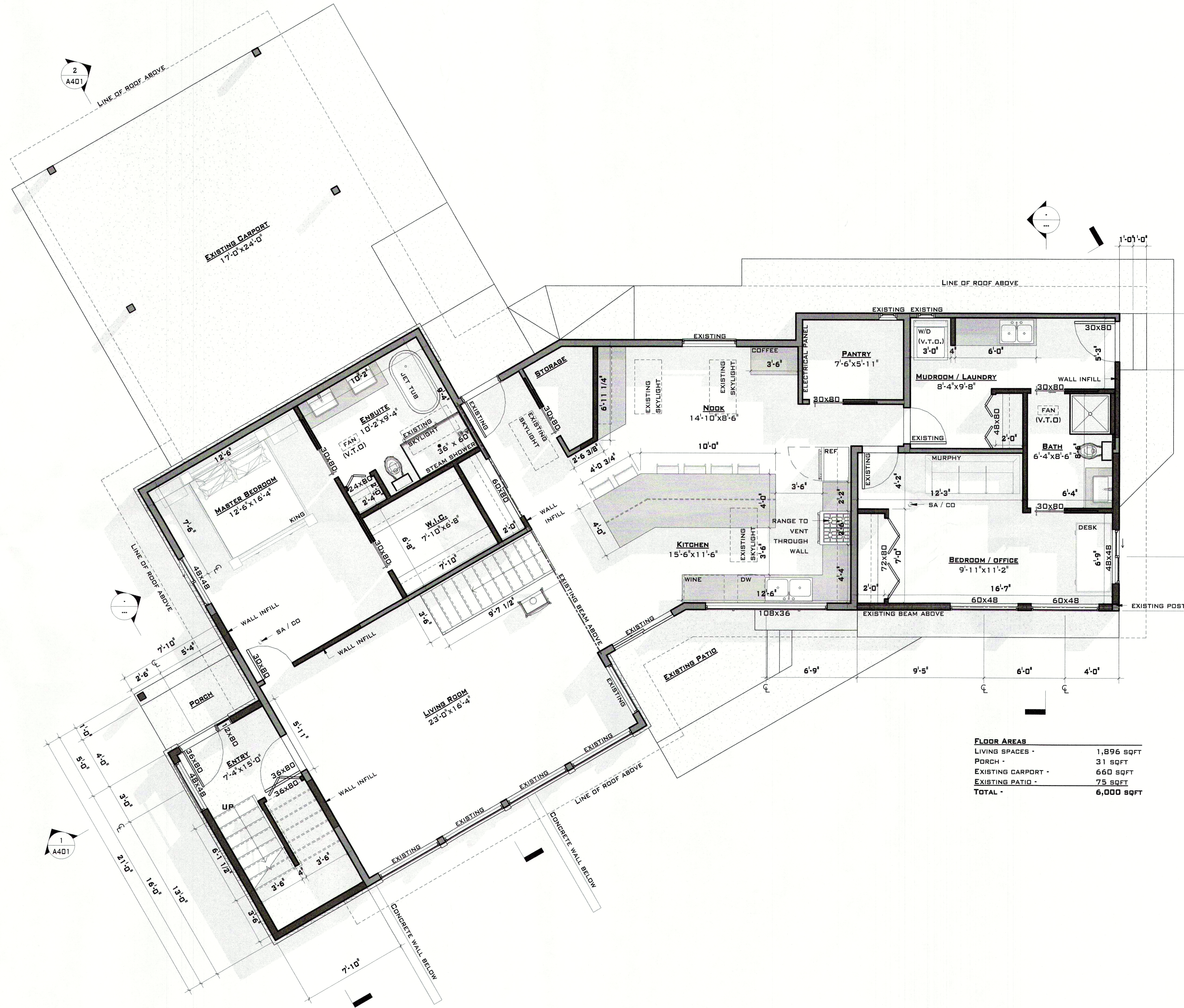
DO NOT SCALE ANY OF THE DRAWING SHEETS

THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER



# FLOOR PLAN NOTES

1. ALL WINDOW AND DOOR SIZES TO BE SHOWN IN INCHES (30x80) FIRST DIMENSION BEING WIDTH, SECOND DIMENSION BEING HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
3. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
4. ALL SMOKE ALARMS AND CO DETECTORS TO BE HARD WIRED & INTERCONNECTED.
5. ROOF TRUSSES ABOVE ARE TO PROVIDE FLAT CEILINGS UNLESS OTHERWISE NOTED UNDER ROOM TAG.
6. ALL WALLS TO BE W6 UNLESS OTHERWISE NOTED
7. ALL NOTED LEDGERS TO BE 2x10 AND ATTACHED TO WALL BY TWO 1/2" DIA. FASTENER BOLTS STAGGERED @ 16" O.C.
8. SMOKE ALARMS 9.10.19. 2018 BCBC - ALARMS SHALL CONFORM TO CAN/ULC-S531, AND SHALL BE INSTALLED SO THAT A) THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY INCLUDING BASEMENTS, AND B) ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM: i) IN EACH SLEEPING ROOM, AND ii) OUTSIDE EACH BEDROOM CORRIDOR
9. EGRESS FROM BEDROOMS 9.9.10.1.2. 2018 BCBC - EXCEPT WHERE SPRINKLERED, ALL BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW THAT OPENS FROM THE INSIDE. SUCH WINDOWS SHALL HAVE AN UNOBSTRUCTED OPENING OF 0.35M<sup>2</sup> (3.77 SQFT) IN AREA WITH NO INSIDE DIMENSION LESS THAN 380MM (15")
10. CARBON MONOXIDE 9.32.4.2. 2018 BCBC - SHALL CONFORM TO CAN/CSA-6.19, CO'S REQUIRED IN RESIDENTIAL OCCUPANCY AND THAT ALSO CONTAINS: A) A FUEL-BURNING APPLIANCE, OR B) A STORAGE GARAGE. CO'S SHALL BE LOCATED IN A) INSIDE EACH BEDROOM, OR B) OUTSIDE EACH BEDROOM, WITHIN 5M OF EACH BEDROOM DOOR, MEASURED FOLLOWING CORRIDORS AND DOORWAYS
11. PRINCIPAL VENTILATION EXHAUST FAN 9.32.3.5. 2018 BCBC - DESIGNED TO RUN CONTINUOUSLY AND CONTROLLED BY A DEDICATED SWITCH WITH TWO SETTINGS ON AND OFF. SWITCH LOCATED SOMEWHERE NOT LIKELY TO BE TURNED OFF. LABELED "PRINCIPAL VENTILATION EXHAUST FAN" SOUND RATINGS SHALL NOT EXCEED 1.0 SONE WHEN RUNNING CONTINUOUSLY
12. WATER HAMMER 2.6.1.9. 2018 BCPC - WATER HAMMER ARRESTORS ARE REQUIRED ON DISHWASHERS, WASHING MACHINES AND ANY APPLIANCES WITH QUICK CLOSING VALVE.



FLOOR AREAS	
LIVING SPACES -	1,896 SQFT
PORCH -	31 SQFT
EXISTING CARPORT -	660 SQFT
EXISTING PATIO -	75 SQFT
<b>TOTAL -</b>	<b>6,000 SQFT</b>

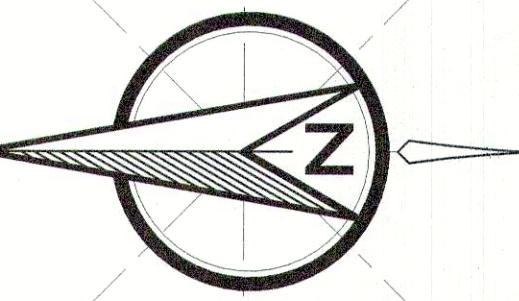
THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER

DO NOT SCALE ANY OF THE DRAWING SHEETS

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER



GARTNER'S CUSTOM HOUSE DESIGNS  
 198 DARTMOUTH AVE | PENTICTON BC | V2A 7S4  
 (250) 487-8278  
 WWW.GARTNERDESIGNS.COM  
 GARTNERDESIGN@GMAIL.COM



THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
 JOB NO.: 230401  
 SCALE: AS INDICATED

PROJECT TITLE  
**HULSMANS RENOVATION**

SHEET NUMBER  
**A205**

DRAWING TITLE  
**MAIN FLOOR PLAN**

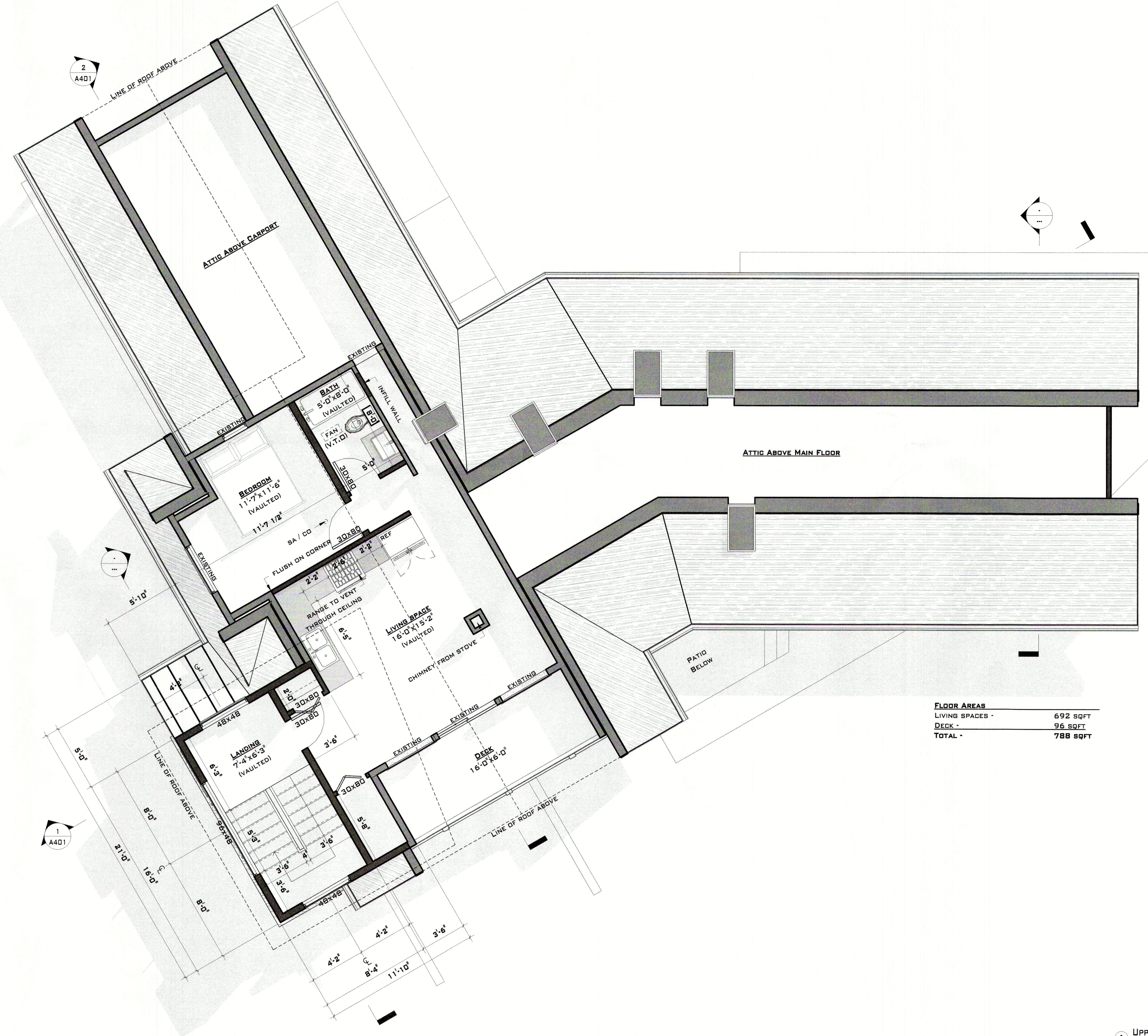
1 MAIN FLOOR  
 1/4" = 1'-0"

PRELIMINARY PLANS - FOR REVIEW ONLY



# FLOOR PLAN NOTES

1. ALL WINDOW AND DOOR SIZES TO BE SHOWN IN INCHES (30x80) FIRST DIMENSION BEING WIDTH, SECOND DIMENSION BEING HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
3. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
4. ALL SMOKE ALARMS AND CO DETECTORS TO BE HARD WIRED & INTERCONNECTED.
5. ROOF TRUSSES ABOVE ARE TO PROVIDE FLAT CEILINGS UNLESS OTHERWISE NOTED UNDER ROOM TAG.
6. ALL WALLS TO BE W6 UNLESS OTHERWISE NOTED
7. ALL NOTED LEDGERS TO BE 2X10 AND ATTACHED TO WALL BY TWO 1/2" DIA. FASTENER BOLTS STAGGERED @ 16" O.C.
8. SMOKE ALARMS 9.10.19. 2018 BCBC - ALARMS SHALL CONFORM TO CAN/ULC-S531, AND SHALL BE INSTALLED SO THAT A) THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY INCLUDING BASEMENTS, AND B) ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM: I) IN EACH SLEEPING ROOM, AND II) OUTSIDE EACH BEDROOM CORRIDOR
9. EGRESS FROM BEDROOMS 9.9.10.1.2. 2018 BCBC - EXCEPT WHERE SPRINKLERED, ALL BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW THAT OPENS FROM THE INSIDE. SUCH WINDOWS SHALL HAVE AN UNOBSTRUCTED OPENING OF 0.35M<sup>2</sup> (3.77 SQFT) IN AREA WITH NO INSIDE DIMENSION LESS THAN 380MM (15")
10. CARBON MONOXIDE 9.32.4.2. 2018 BCBC - SHALL CONFORM TO CAN/CSA-6.19. CO'S REQUIRED IN RESIDENTIAL OCCUPANCY AND THAT ALSO CONTAINS: A) A FUEL-BURNING APPLIANCE, OR B) A STORAGE GARAGE. CO'S SHALL BE LOCATED IN A) INSIDE EACH BEDROOM, OR B) OUTSIDE EACH BEDROOM, WITHIN 5M OF EACH BEDROOM DOOR, MEASURED FOLLOWING CORRIDORS AND DOORWAYS
11. PRINCIPAL VENTILATION EXHAUST FAN 9.32.3.5. 2018 BCBC - DESIGNED TO RUN CONTINUOUSLY AND CONTROLLED BY A DEDICATED SWITCH WITH TWO SETTINGS ON AND OFF. SWITCH LOCATED SOMEWHERE NOT LIKELY TO BE TURNED OFF. LABELED "PRINCIPAL VENTILATION EXHAUST FAN" SOUND RATING SHALL NOT EXCEED 1.0 SONE WHEN RUNNING CONTINUOUSLY
12. WATER HAMMER 2.6.1.9. 2018 BCPC - WATER HAMMER ARRESTORS ARE REQUIRED ON DISHWASHERS, WASHING MACHINES AND ANY APPLIANCES WITH QUICK CLOSING VALVE.

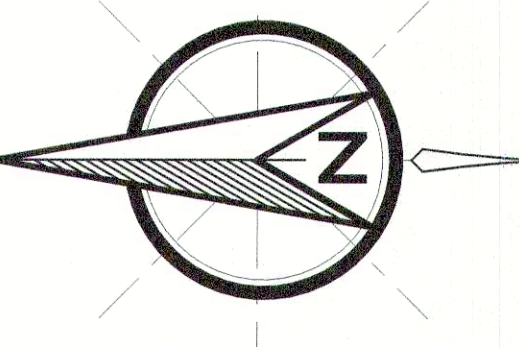


FLOOR AREAS	
LIVING SPACES -	692 SQFT
DECK -	96 SQFT
TOTAL -	788 SQFT

PRELIMINARY PLANS - FOR REVIEW ONLY



GARTNER'S CUSTOM HOUSE DESIGNS  
 198 DARTMOUTH AVE | PENTICTON | BC | V2A 7S4  
 (250) 487-8278  
 WWW.GARTNERDESIGNS.COM  
 GARTNERDESIGN@GMAIL.COM



THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
 JOB NO.: 230401  
 SCALE: AS INDICATED

PROJECT TITLE:  
**HULSMANS RENOVATION**

SHEET NUMBER:  
**A206**

DRAWING TITLE:  
**UPPER FLOOR PLAN**

1 UPPER FLOOR  
 1/4" = 1'-0"

THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER

DO NOT SCALE ANY OF THE DRAWING SHEETS

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER



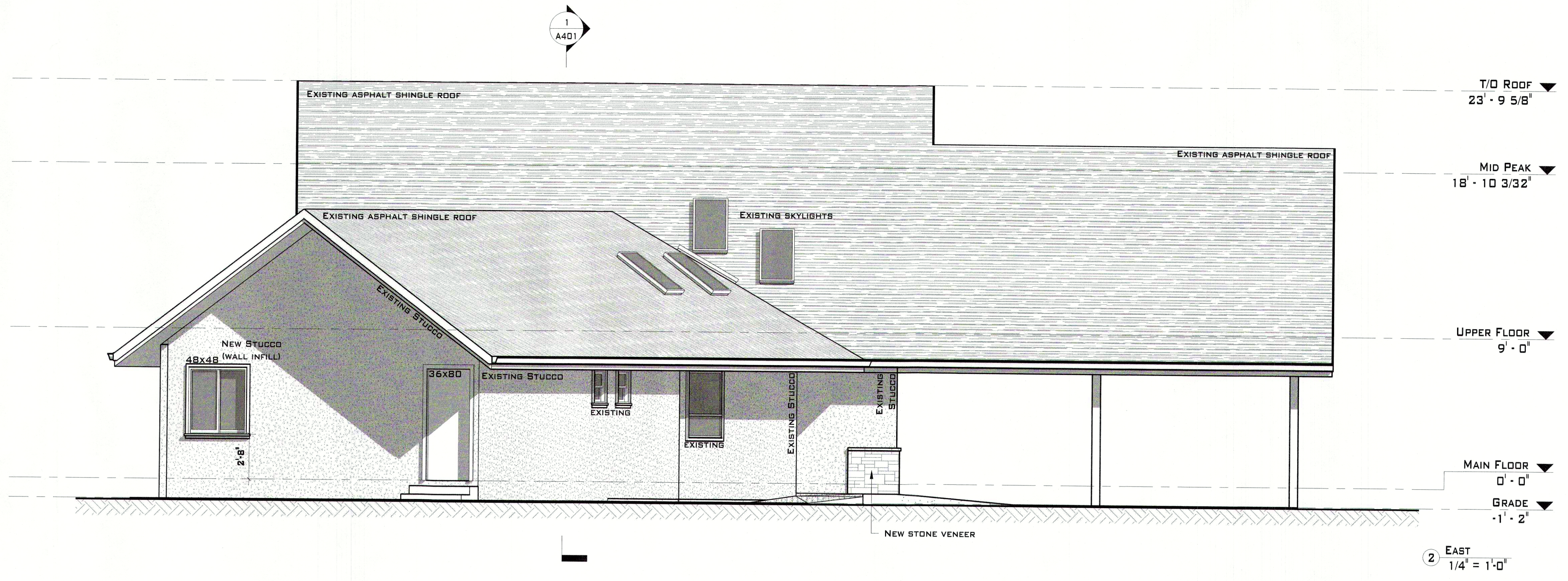
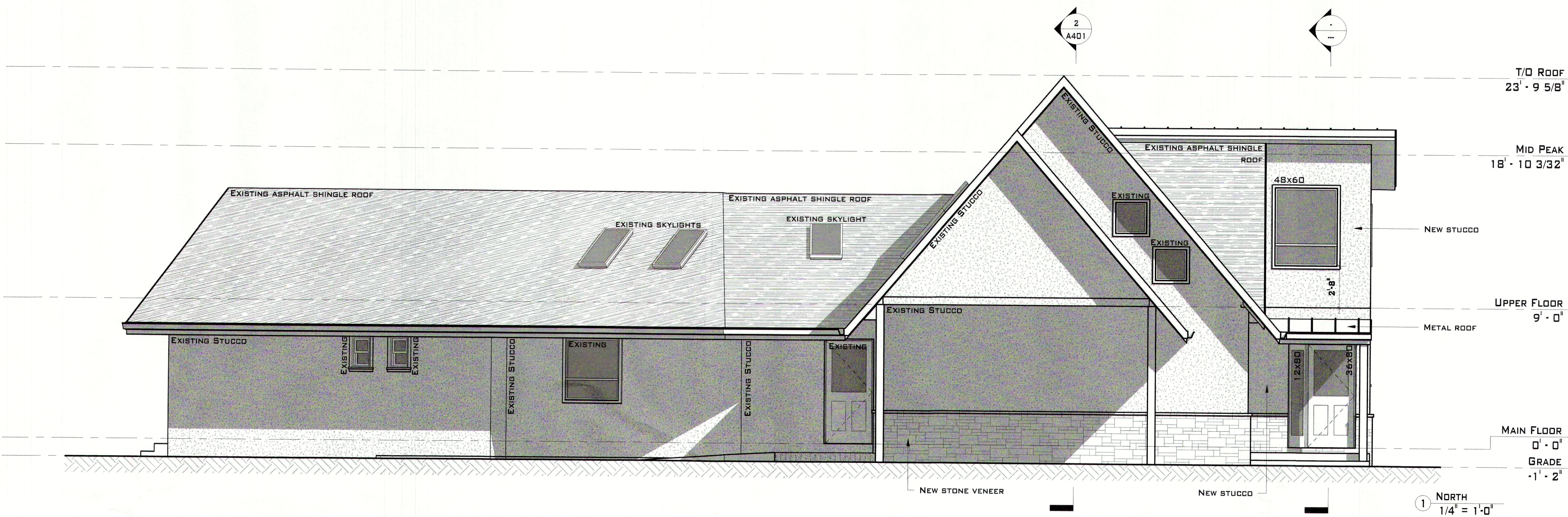
# ELEVATION & EXTERIOR NOTES

- WINDOWS 9.7.4.2 2018 BCBC - ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO NAFS AND A440S1. MINIMUM RATING REQUIREMENT OF PG20 FOR BUILDINGS LESS THAN 10M IN HEIGHT.
- TOP OF WINDOWS ARE ASSUMED TO BE 6'-0" ABOVE SUBFLOOR EXCEPT WHERE INDICATED.
- RESISTANCE TO FORCED ENTRY REQUIRED FOR WINDOWS WITHIN 2.0M OF FINISHED GRADE
- FLASHING INSTALLATION 9.27.3.8.2018 BCBC - FLASHING REQUIRED ABOVE & BELOW ALL UNPROTECTED OPENINGS & HORIZONTAL TRANSITIONS. FLASHING TO BE MINIMUM 50MM UPWARDS INBOARD OF THE SHEATHING MEMBRANE. SLOPE NOT LESS THEN 6% TOWARDS THE EXTERIOR. TERMINATE AT EACH END WITH A DAM
- NO SOFFIT MAY BE VENTED WITHIN 1.2M OF INTERIOR SIDE LOT LINES
- STRUCTURAL WOOD ELEMENTS WITHIN 1'-6" OF FINISHED GRADE MUST BE PRESSURE TREATED
- CONCRETE SHALL NOT BE PLACED AGAINST WOOD FRAMING
- ALL GRADES TO SLOPE AWAY FROM PROJECT
- BCBC 9.3.2.9. (3) A. - PROVIDE 6" (150MM) CLEARANCE FROM FINISHED GRADE TO FRAMING.
- BCBC 9.28.1.4. STUCCO FINISH SHALL NOT BE LESS THAN 8" (200MM) FROM FINISHED GRADE EXCEPT WHEN APPLIED OVER CONCRETE OR MASONRY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER

DO NOT SCALE ANY OF THE DRAWING SHEETS

THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER



**PRELIMINARY PLANS - FOR REVIEW ONLY**

**GCHD**  
 GARTNER'S CUSTOM HOUSE DESIGNS  
 198 DARTMOUTH AVE | PERTHSTON | BC | V2A 7B4  
 (250) 487 8278  
 WWW.GARTNERDESIGNS.COM  
 GARTNERDESIGN@GMAIL.COM

THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
 JOB NO.: 230401  
 SCALE: 1/4" = 1'-0"

PROJECT TITLE  
**HULSMANS RENOVATION**

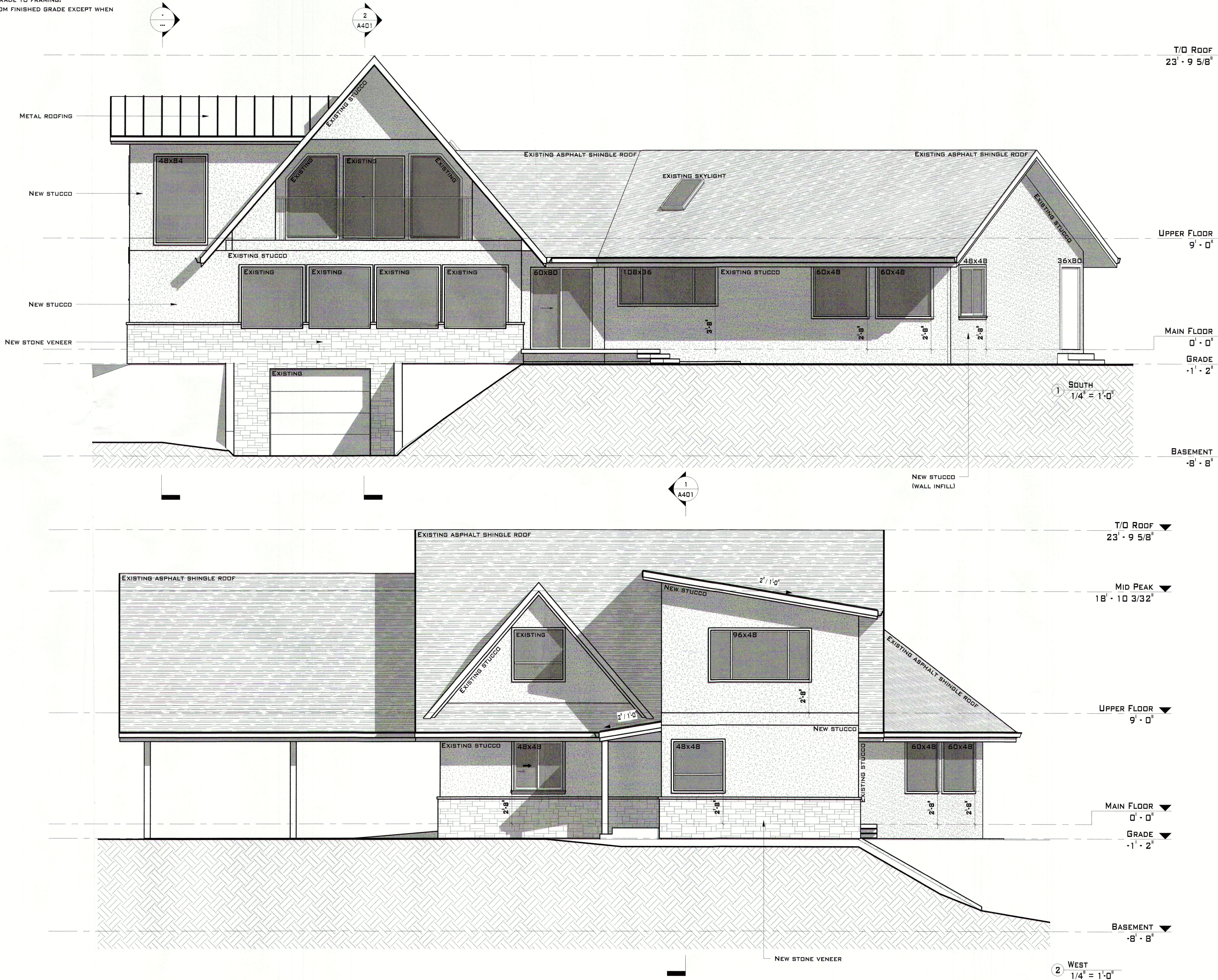
SHEET NUMBER  
**A301**

DRAWING TITLE  
**NORTH & EAST ELEVATIONS**



# ELEVATION & EXTERIOR NOTES

1. WINDOWS 9.7.4.2 2018 BCBC - ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO NAFS AND A440S1. MINIMUM RATING REQUIREMENT OF PG20 FOR BUILDINGS LESS THAN 10M IN HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED.
3. RESISTANCE TO FORCED ENTRY REQUIRED FOR WINDOWS WITHIN 2.0M OF FINISHED GRADE.
4. FLASHING INSTALLATION 9.27.3.8.2018 BCBC - FLASHING REQUIRED ABOVE & BELOW ALL UNPROTECTED OPENINGS & HORIZONTAL TRANSITIONS. FLASHING TO BE MINIMUM 50MM UPWARDS INBOARD OF THE SHEATHING MEMBRANE. SLOPE NOT LESS THEN 6% TOWARDS THE EXTERIOR. TERMINATE AT EACH END WITH A DAM
5. NO SOFFIT MAY BE VENTED WITHIN 1.2M OF INTERIOR SIDE LOT LINES
6. STRUCTURAL WOOD ELEMENTS WITHIN 1'-6" OF FINISHED GRADE MUST BE PRESSURE TREATED
7. CONCRETE SHALL NOT BE PLACED AGAINST WOOD FRAMING
8. ALL GRADES TO SLOPE AWAY FROM PROJECT
9. BCBC 9.3.2.9. (3) A. - PROVIDE 6" (150MM) CLEARANCE FROM FINISHED GRADE TO FRAMING.
10. BCBC 9.28.1.4. STUCCO FINISH SHALL NOT BE LESS THAN 8" (200MM) FROM FINISHED GRADE EXCEPT WHEN APPLIED OVER CONCRETE OR MASONRY



PRELIMINARY PLANS - FOR REVIEW ONLY



GARTNER'S CUSTOM HOUSE DESIGNS  
 198 DARTMOUTH AVE | PENNINGTON  
 BC | V2A 7S4  
 (250) 487 8278  
 WWW.GARTNERDESIGNS.COM  
 GARTNERDESIGN@GMAIL.COM

THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF GARTNER'S CUSTOM HOUSE DESIGNS (GCHD) AND MAY NOT BE USED OR DUPLICATED WITHOUT THE GCHD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MIGHT BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	Date 1	Revision 1

DATE: JUNE 02, 2023  
 JOB NO.: 230401  
 SCALE: 1/4" = 1'-0"

PROJECT TITLE  
**HULSMANS RENOVATION**

SHEET NUMBER  
**A302**

DRAWING TITLE  
**SOUTH & WEST ELEVATIONS**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. DO NOT SCALE ANY OF THE DRAWING SHEETS. THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER.