

# GENERAL NOTES

## GENERAL

- GARTNERS CUSTOM HOUSE DESIGNS HAS MADE EVERY EFFORT TO ENSURE THESE PLANS ARE COMPLETE AND ACCURATE BUT DUE TO POSSIBLE HUMAN ERROR, GARTNERS CUSTOM HOUSE DESIGNS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS TO THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO CHECK AND VERIFY ALL DIMENSIONS, STRUCTURE, AND CONDITIONS ON THE PLANS BEFORE STARTING CONSTRUCTION
- INFORM GARTNERS CUSTOM HOUSE DESIGNS AS SOON AS POSSIBLE IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS
- THE CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF THE BUILDING ON SITE WHICH WILL BE DETERMINED BY THE INTENDED SURVEYOR
- THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CURRENT VERSION OF THE BCBC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CODES AND BY-LAWS ARE MET.
- GRADES SHOWN ON THESE PLANS IS ASSUMED AND IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO ENSURE ALL GRADES SLOPE AWAY FROM THE BUILDING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE OWNER TO PROVIDE ANY ENGINEERING REQUIRED.

## BUILDING PERMITS AND HOME OWNER WARRANTY PROTECTION

- UNDER NO CIRCUMSTANCES IS WORK TO COMMENCE UNTIL THE BUILDING PERMIT AS BEEN OBTAINED
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN ALL THE APPROPRIATE BUILDING PERMITS AND APPROVALS FROM THE AUTHORITY HAVING JURISDICTION.
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN A HPD NUMBER IF HE/SHE DECIDES TO UNDERTAKE THIS PROJECT WITHOUT A FULLY REGISTERED BUILDER.

## ENGINEERING

- ALL TRUSSES, PARALAM BEAMS, AND HANGERS ARE TO BE VERIFIED AND CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER.
- TRUSS LAYOUT SHALL BE CONFIRMED BY MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL ENGINEERED DRAWINGS TO TAKE PRECEDENCE OVER SIZING AND LOCATION OF FOUNDATIONS AND OTHER ENGINEERED ELEMENTS SHOWN ON THESE PLANS.

## EXCAVATIONS

- GEOTECHNICAL ENGINEER IS TO CLARIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATIONS EXCEED 3/4 HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 48".
- INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROFESSIONAL ENGINEER

## STAIRS

- STRAIGHT STAIR - RISE: MINIMUM OF 5", MAX OF 7.87", RUN: MINIMUM 10", MAX OF 14"
- ALL TREADS TO HAVE A 1" NOSING
- CLEAR HEIGHT OVER STAIRS MEASURED VERTICALLY FROM THE NOSING OF A TREAD TO THE LOWEST POINT ABOVE SHALL BE NOT LESS THAN 6'-5"
- HANDRAILS TO BE BETWEEN 32" AND 38" FROM A LINE MEASURED VERTICALLY THROUGH NOSING.
- WINDERS TO CONFORM TO 9.8.4.5.
- PRIMARY STAIR MINIMUM WIDTH OF 34"
- CURVED STAIRS AND STAIRS 43" IN WIDTH OR GREATER REQUIRE 2 HANDRAILS
- HANDRAILS REQUIRED ON ALL INTERIOR STAIRS WITH THREE OR MORE RISERS AND EXTERIOR STAIRS WITH FOUR OR MORE RISERS
- HANDRAILS AS A GUARDRAIL IS TO BE BETWEEN 36" AND 38"

## GUARDRAILS

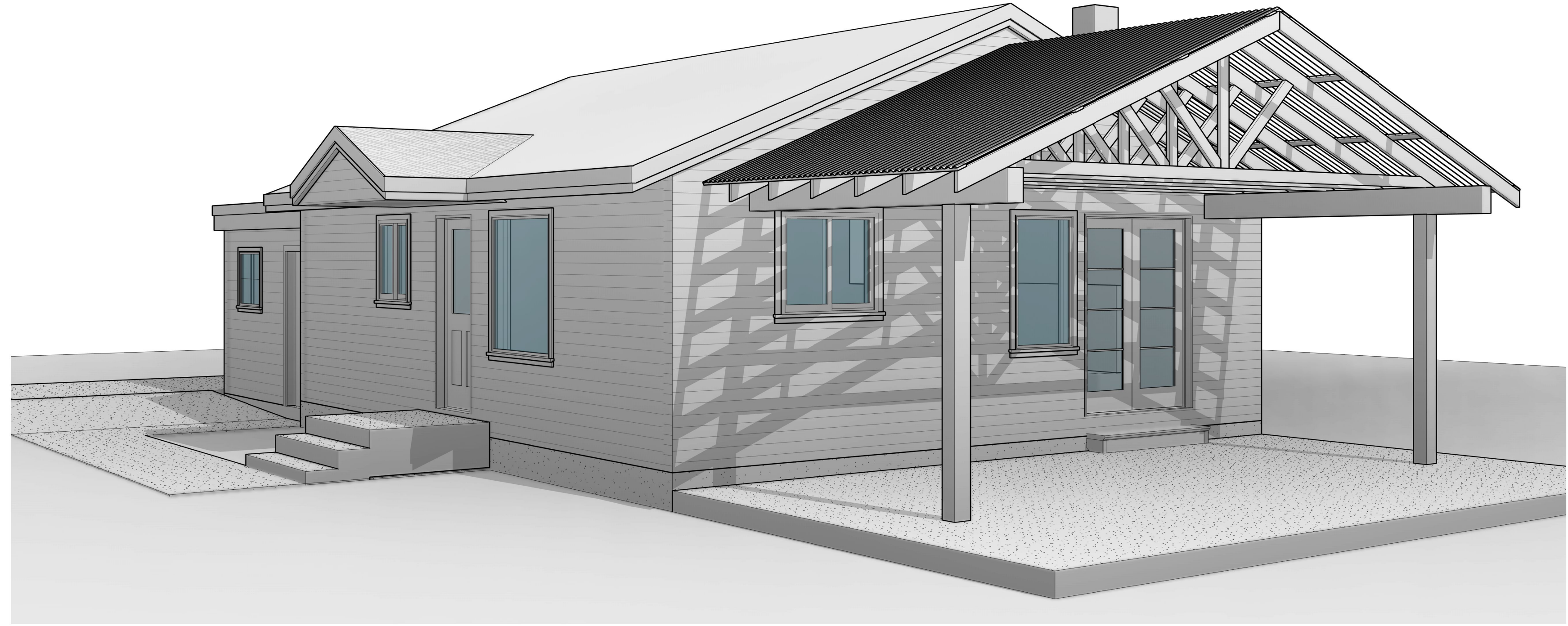
- GUARDRAIL HEIGHT TO BE A MIN 42" FOR EXTERIOR USE AND 38" FOR INTERIOR USE
- NO MEMBER FACILITATING CLIMBING PERMITTED FROM 4" TO 36" ABOVE THE FLOOR OR WALKING SURFACE
- MAX 4" OPENING IN ALL STAIR, DECK, AND BALCONY GUARDS
- ALL GLASS GUARDS TO HAVE A TOP CAP UNLESS APPROVED BY PROF. ENGINEER
- A MINIMUM OF 36" IN HEIGHT IS PERMITTED FOR DECKS WITHIN 5'-1" OF GRADE
- GUARD REQUIRED TO ALL DROPS EXCEEDING 24" WHERE ACCESS IS PROVIDED

## WOOD FRAME CONSTRUCTION

- FRAMING METHODS AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE BCBC
- ALL FRAMING LUMBER TO BE NO.2 OR BETTER DOUGLAS FIR OR SPRUCE SPF. THE DESIGN AND STRUCTURAL MEMBERS HAS BEEN BASED ON SPAN TABLES FOR WOOD RAFTERS JOISTS AND BEAMS AS SHOWN IN PART 9 OF THE BCBC
- ALL LOAD BEARING LINTELS TO BE 2-2X10 UNLESS OTHERWISE NOTED
- ALL LOAD BEARING BEAMS SHALL NOT HAVE LESS THAN 3 1/2" OF EVEN AND LEVEL BEARING SUPPORTS
- ALL JOISTS SHALL HAVE A MINIMUM OF 1 1/2" BEARING AT SUPPORTS
- ALL CONCRETE AND WOOD CONTACTS SHALL BE DAMPROOFED WITH AN APPROVED SILL GASKET OR 6 MIL POLY
- EXPOSED LUMBER SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED WITH AN APPROVED PRESERVATIVE
- ALL PLYWOOD SUBFLOORS ARE TO BE GLUED AND SCREWED TO THE FLOOR JOISTS.
- FLOOR AND ROOF JOIST SPANS OF MORE THAN 6' - 10" SHALL BE BRIDGED AT MIDSPAN OR AT 6' - 10" O.C. MAX WITH 2X2 CROSS BRACING OR SOLID BLOCKING 1X3 STRAPPING @ 6' - 10" O.C. MAX OR GYPSUM BOARD TO UNDERSIDE OF JOISTS

## OTHER NOTES

- EXISTING HEATING SYSTEM TO REMAIN
- EXISTING MECHANICAL VENTILATION SYSTEM IS TO REMAIN
- EXISTING HOT WATER HEATING SYSTEM TO REMAIN
- REFER TO SITE PLAN & SITE INFORMATION ON SHEET A101 FOR BUILDING FOOTPRINT(S)
- REFER TO FLOOR PLANS ON SHEET A201 FOR HOT WATER TANK LOCATION



# KOKOSKA RENOVATION

## RESIDENTIAL BUILDING PERMIT DRAWINGS REGARDING:

537 LAKEHILL ROAD, KALEDEN, BRITISH COLUMBIA

LEGAL DESCRIPTION: LOT 2, BLOCK 17, PLAN KAP763, DISTRICT LOT 105S, SIMILKAMEEN DIV OF YALE LAND DISTRICT

## CONTACTS & DRAWING INDEX

GARTNER'S CUSTOM HOUSE DESIGNS  
 CONTACT: CASEY GARTNER  
 ADDRESS: 198 DARTMOUTH PLACE  
 PENTICTON BC, V2A 7S4  
 TEL: (250) 487-8278  
 EMAIL: GARTNERSDESIGN@GMAIL.COM

- A001 COVER PAGE, DRAWING INDEX, GENERAL NOTES, & ASSEMBLIES
- A101 SITE PLAN & SITE INFORMATION
- A201 FLOOR PLANS
- A301 ELEVATIONS, SECTIONS, & STAIR DETAILS



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NO.	DATE	REVISION
1	12-19-2022	Issue for BP

DATE: DECEMBER 19, 2022  
 JOB NO.: 221201  
 SCALE: 3/4" = 1'-0"

## PROJECT TITLE

KOKOSKA RENOVATION

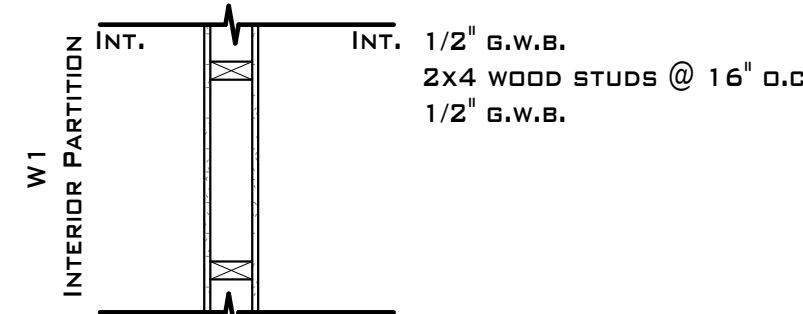
## SHEET NUMBER

# A001

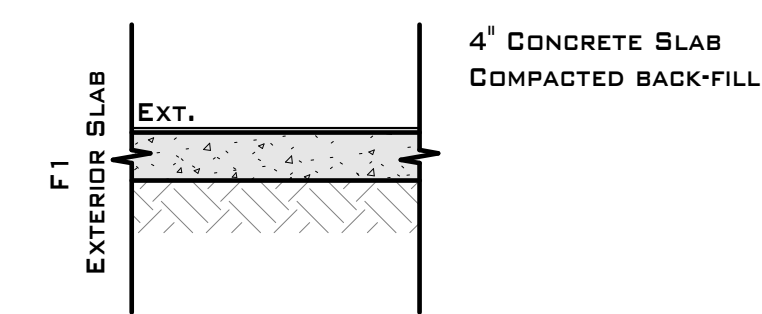
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**COVER PAGE,  
 DRAWING INDEX,  
 GENERAL NOTES, &  
 ASSEMBLIES**

## ASSEMBLIES

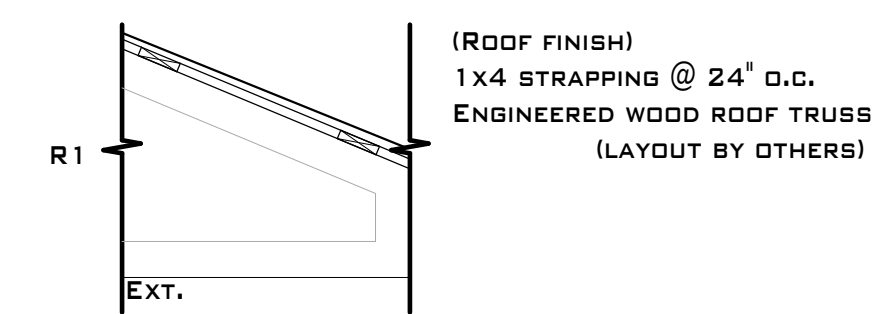
### WALLS



### FLOORS



### ROOFS



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# ZONING / PROJECT DATA

PROJECT ADDRESS: 537 LAKEHILL ROAD, KALEDEN, BC  
 LEGAL DESCRIPTION: LOT 2, BLOCK 17, PLAN KAP763, DISTRICT LOT 1055, SIMILKAMEEN DIV OF YALE LAND DISTRICT  
 ZONING: RS2  
 ALR: No  
 SITE AREA: 8611 SQFT  
 FOOTPRINTS:  
 MAIN DWELLING: 1,042 · SQFT  
 EXISTING SHED: 70 SQFT

NOTES\*\*\*  
 BUILDER IS TO CONFIRM BUILDING LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION & CONFIRM EXISTING CONDITIONS  
 ROOF DRAINAGE SYSTEM SPLASH PADS REQUIRED FOR ROOF RAIN WATER LEADERS AS PER GEOTECH.  
 NO VENTED SOFFITING AN ANY OVERHANG THAT IS WITHIN 1.2M OF PROPERTY LINE. IF SOFFIT IS VENTED WITHIN 1.2M FIRE BLOCKING AT EAVES IS REQUIRED.

**RODS BYLAW REQUIREMENTS FOR PRINCIPAL DWELLINGS IN RS2:**

MAXIMUM LOT COVERAGE: 40 %  
 MAXIMUM HEIGHT: 10.0 M  
 MINIMUM BUILDING WIDTH: 5.0 M  
**SETBACKS:**  
 FRONT YARD: 7.5 M  
 REAR YARD: 7.5 M  
 INTERIOR SIDE YARD: 1.5 M  
 EXTERIOR SIDE YARD: 4.5 M

**PROJECT BYLAW SUMMARY:**

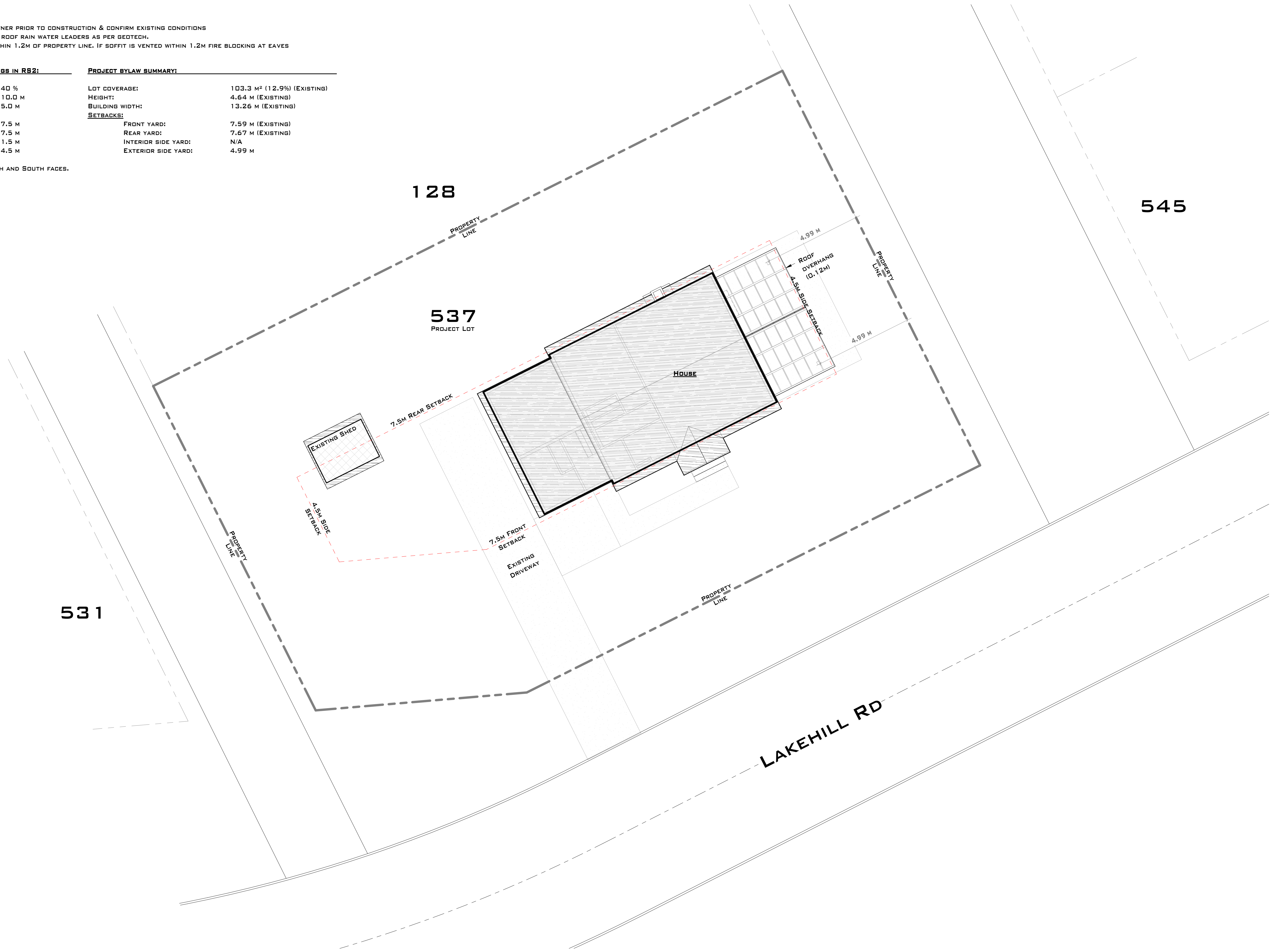
LOT COVERAGE: 103.3 M<sup>2</sup> (12.9%) (EXISTING)  
 HEIGHT: 4.64 M (EXISTING)  
 BUILDING WIDTH: 13.26 M (EXISTING)  
**SETBACKS:**  
 FRONT YARD: 7.59 M (EXISTING)  
 REAR YARD: 7.67 M (EXISTING)  
 INTERIOR SIDE YARD: N/A  
 EXTERIOR SIDE YARD: 4.99 M

REFER TO A301 FOR SPATIAL SEPARATIONS ON NORTH AND SOUTH FACES.

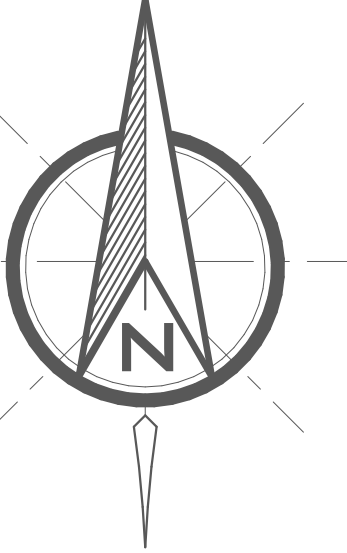
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PROJECT TITLE  
**KOKOSKA RENOVATION**

SHEET NUMBER  
**A101**

DRAWING TITLE  
**SITE PLAN & SITE INFORMATION**

1 SITE  
 1/8" = 1'-0"



# FLOOR PLAN NOTES

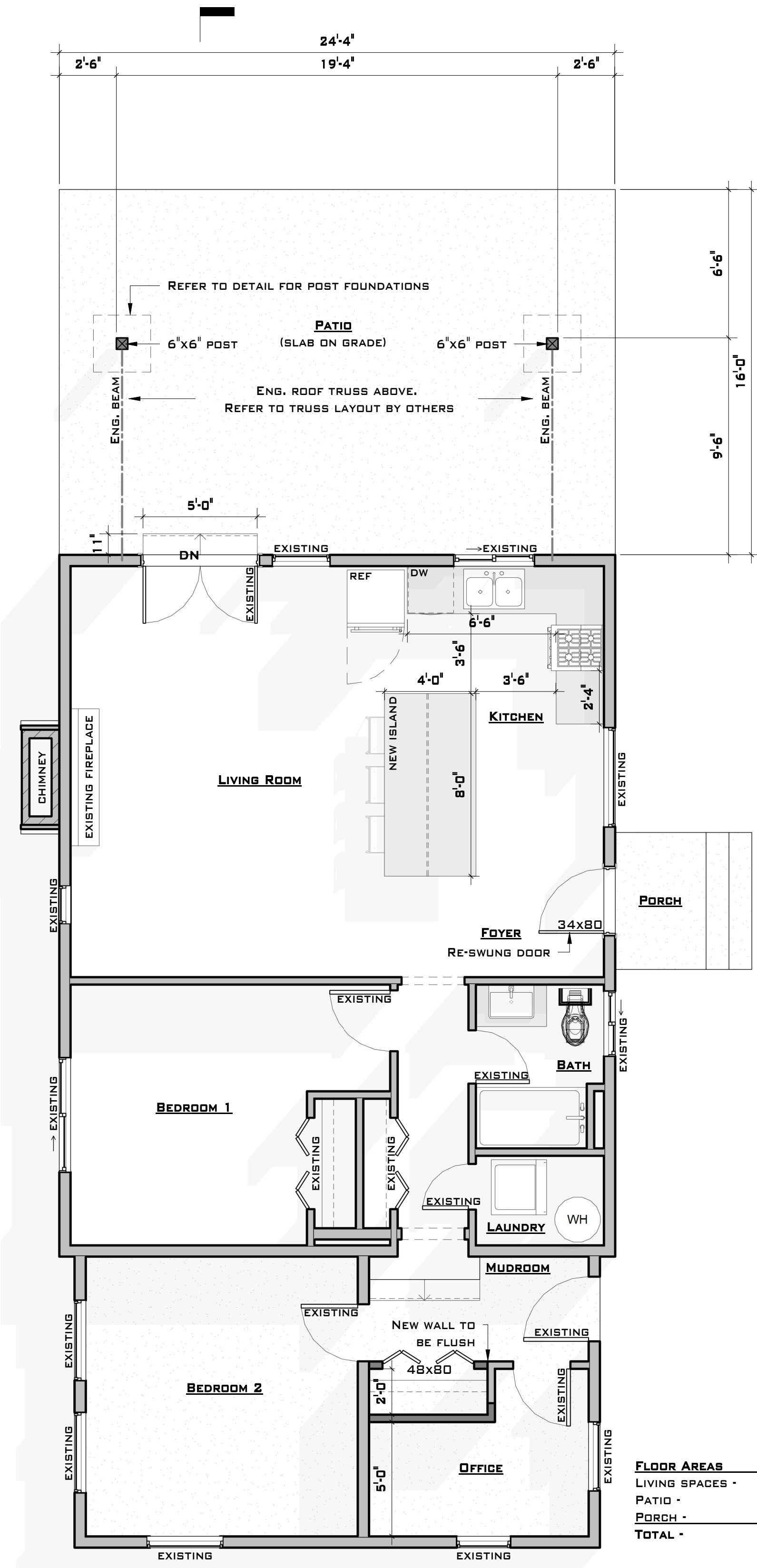
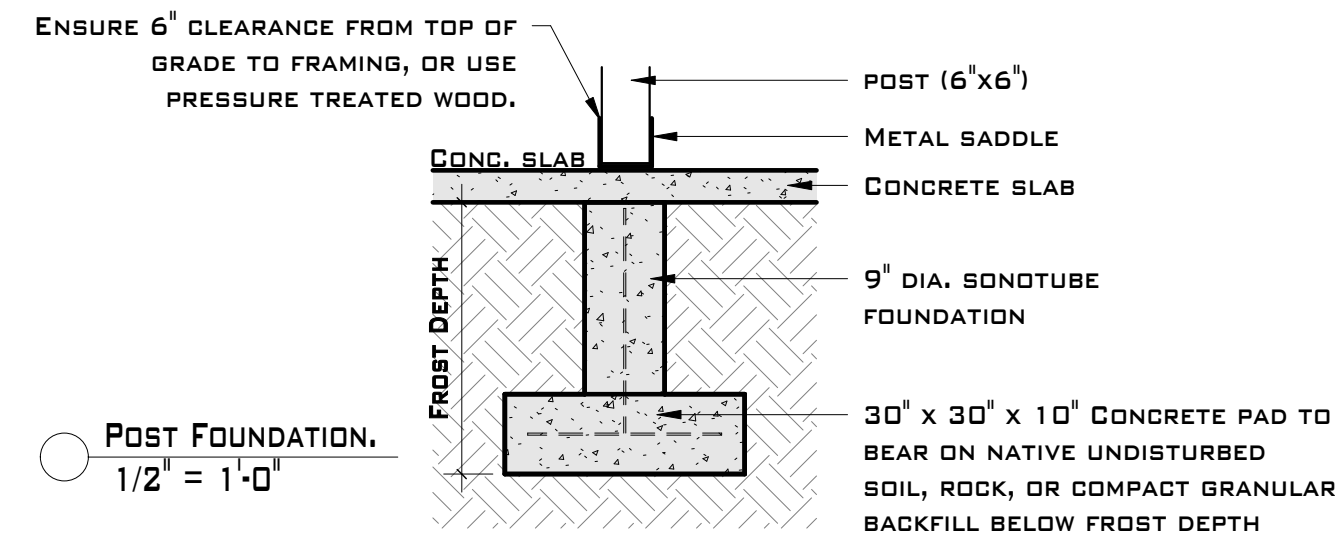
1. ALL WINDOW AND DOOR SIZES TO BE SHOWN IN INCHES (30X80) FIRST DIMENSION BEING WIDTH, SECOND DIMENSION BEING HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
3. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
4. ALL SMOKE ALARMS AND CO DETECTORS TO BE HARD WIRED & INTERCONNECTED.
5. ALL NOTED LEDGERS TO BE 2X10 AND ATTACHED TO WALL BY TWO 1/2" DIA. FASTENER BOLTS STAGGERED @ 16" O.C.
6. CONFIRM ROOF SLOPES PRIOR TO MANUFACTURING
7. SMOKE ALARMS 9.10.19.2018 BCBC - ALARMS SHALL CONFORM TO CAN/ULC-S531, AND SHALL BE INSTALLED SO THAT A) THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY INCLUDING BASEMENTS, AND B) ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM: i) IN EACH SLEEPING ROOM, AND ii) OUTSIDE EACH BEDROOM CORRIDOR
8. EGRESS FROM BEDROOMS 9.9.10.1.2. 2018 BCBC - EXCEPT WHERE SPRINKLERED, ALL BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW THAT OPENS FROM THE INSIDE. SUCH WINDOWS SHALL HAVE AN UNOBSTRUCTED OPENING OF 0.35M<sup>2</sup> (3.77 SQFT) IN AREA WITH NO INSIDE DIMENSION LESS THAN 380MM (15")
9. CARBON MONOXIDE 9.32.4.2. 2018 BCBC - SHALL CONFORM TO CAN/CSA-6.19, CO'S REQUIRED IN RESIDENTIAL OCCUPANCY AND THAT ALSO CONTAINS: A) A FUEL-BURNING APPLIANCE, OR B) A STORAGE GARAGE. CO'S SHALL BE LOCATED IN A) INSIDE EACH BEDROOM, OR B) OUTSIDE EACH BEDROOM, WITHIN 5M OF EACH BEDROOM DOOR, MEASURED FOLLOWING CORRIDORS AND DOORWAYS
10. PRINCIPAL VENTILATION EXHAUST FAN 9.32.3.5. 2018 BCBC - DESIGNED TO RUN CONTINUOUSLY AND CONTROLLED BY A DEDICATED SWITCH WITH TWO SETTINGS ON AND OFF. SWITCH LOCATED SOMEWHERE NOT LIKELY TO BE TURNED OFF. LABELED "PRINCIPAL VENTILATION EXHAUST FAN" SOUND RATING SHALL NOT EXCEED 1.0 SONE WHEN RUNNING CONTINUOUSLY
11. WATER HAMMER 2.6.1.9. 2018 BCPC - WATER HAMMER ARRESTORS ARE REQUIRED ON DISHWASHERS, WASHING MACHINES AND ANY APPLIANCES WITH QUICK CLOSING VALVE.

# MECH. NOTES

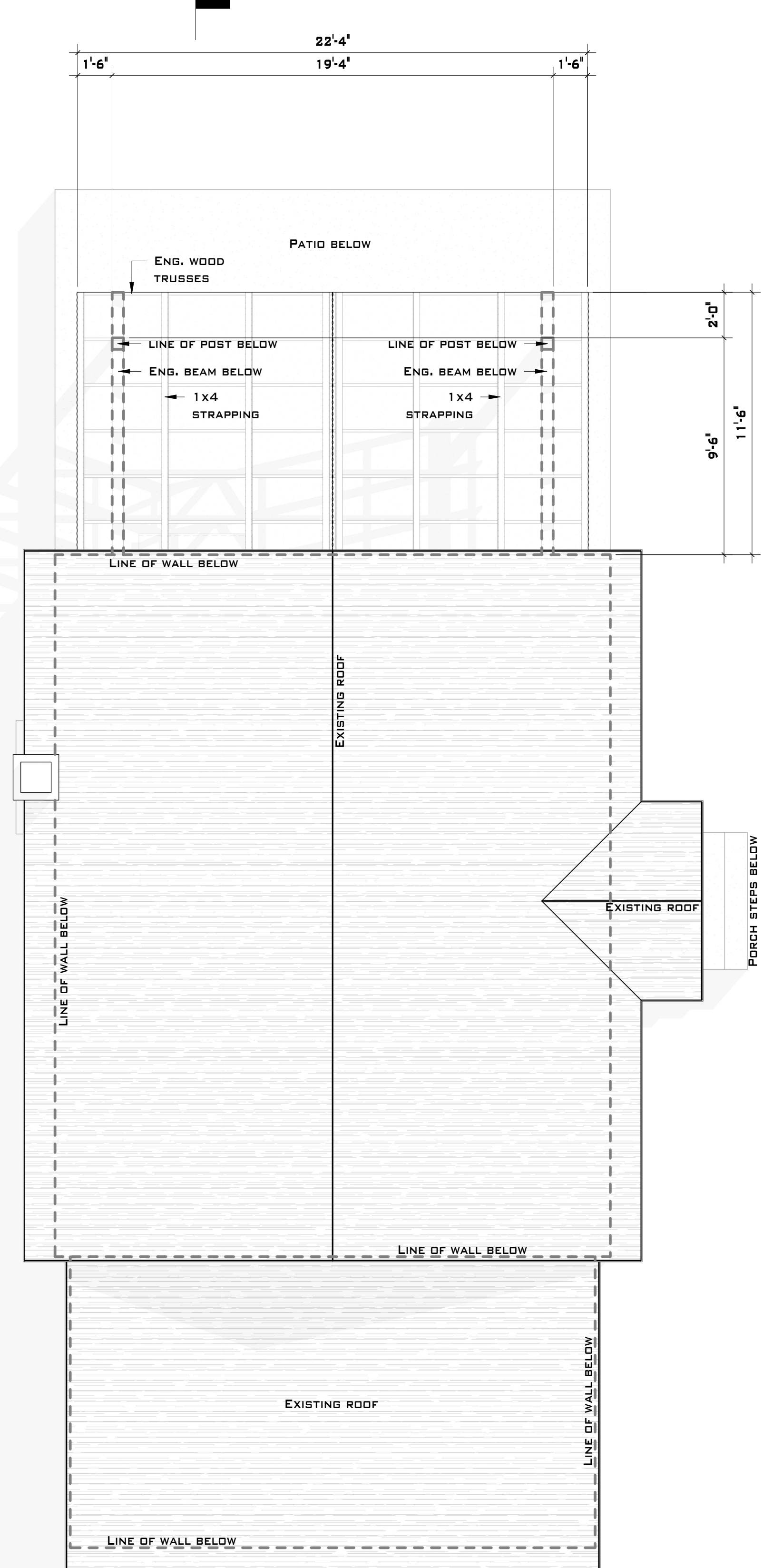
1. HWT PIPING 9.36.4.4 (1) 2018 BCBC - THE INLET AND OUTLET OF HWT, STORAGE TANK OR HEATING VESSEL REQUIRES 12MM (0.5") WALL INSULATION, A MINIMUM OF 2m (6'). PIPING WITHIN AN INSULATED INTERIOR WALL WOULD BE CONSIDERED INSULATED. THE REMAINDER OF THE PIPING FROM THE WALL BACK TO THE TANK OR VESSEL IS REQUIRED TO BE INSULATED AS SPECIFIED
2. EXPANSION TANK 2.6.1.1.1 2018 BCBC - A DIAPHRAGM EXPANSION TANK OR, THERMAL EXPANSION RELIEF VALVE, IS REQUIRED ON THE WATER DISTRIBUTION SYSTEM. INSTALL ACCORDING TO MANUFACTURE INSTRUCTIONS/
3. WATER PIPING SIZE 2.6.3.4. 2018 BCPC - WATER PIPING NEEDS TO BE DESIGNED AND INSTALLED TO MEET THE HYDRAULIC LOAD (FU'S) FOR ALL FIXTURES DOWNSTREAM OF THE WATER SERVICE PIPE AND METER IN THE WATER DISTRIBUTION SYSTEMS
4. WATER METER REQUIREMENTS, PUBLIC WORKS - INSTALL SHUTOFFS LOCATED UPSTREAM AND DOWNSTREAM OF THE METER TO ISOLATE. ENSURE THE METER IS SUPPORTED AND ACCESSIBLE. DO NOT COVER OR LIMIT ACCESS TO THE METER WIRE LOCATED INSIDE OR OUTSIDE THE BUILDING

# FOUNDATION NOTES

1. CONCRETE TO BE A MINIMUM COMPREHENSIVE STRENGTH OF 25 MPA CORROSIVE RES. AT 28 DAYS UNLESS NOTED OTHERWISE WHILE GARAGES, CARPORTS, AND EXTERIOR STEPS ARE TO BE AT 32 MPA
2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL AT AN ELEVATION BELOW FROST PENETRATION (24")
3. FOOTINGS SHOWN ON THIS DRAWING HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 PSF
4. 10M R-BARS AT 6" O.C. EACH WAY ARE RECOMMENDED IN ALL PAD FOOTINGS
5. HORIZONTAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 24" O.C. LESS THEN 12" FROM TOP W/ 1" OF COVER
6. VERTICAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 10" O.C. LESS THAN 24" FROM OPENINGS W/ 1" OF COVER
7. FOR PAD FOOTING REINFORCEMENT USE THREE 12" ANGLED R-BARS FROM FOOTING TO FOUNDATION
8. PROVIDE 1/2" DIAMETER ANCHOR BOLTS @ 8" - 0" O.C.
9. ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT



FLOOR AREAS	
LIVING SPACES -	1,042 sqft
PATIO -	389 sqft
PORCH -	20 sqft
TOTAL -	1,451 sqft



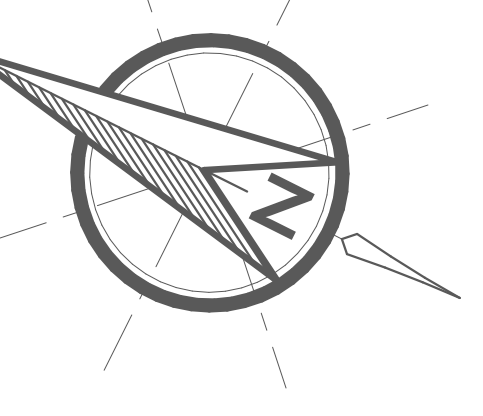
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**KOKOSKA RENOVATION**  
 SHEET NUMBER

# A201

DRAWING TITLE  
**FLOOR PLANS**

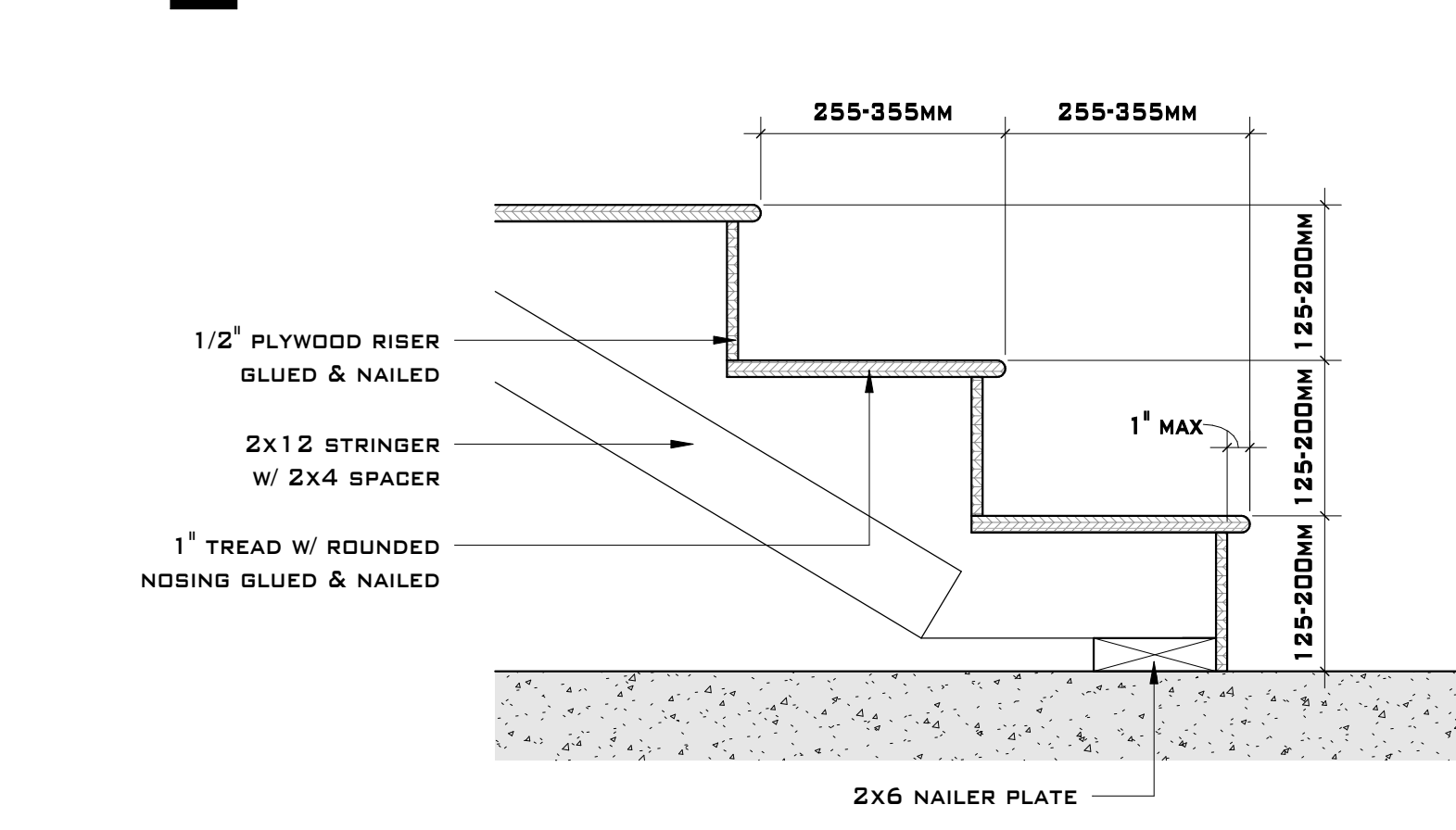
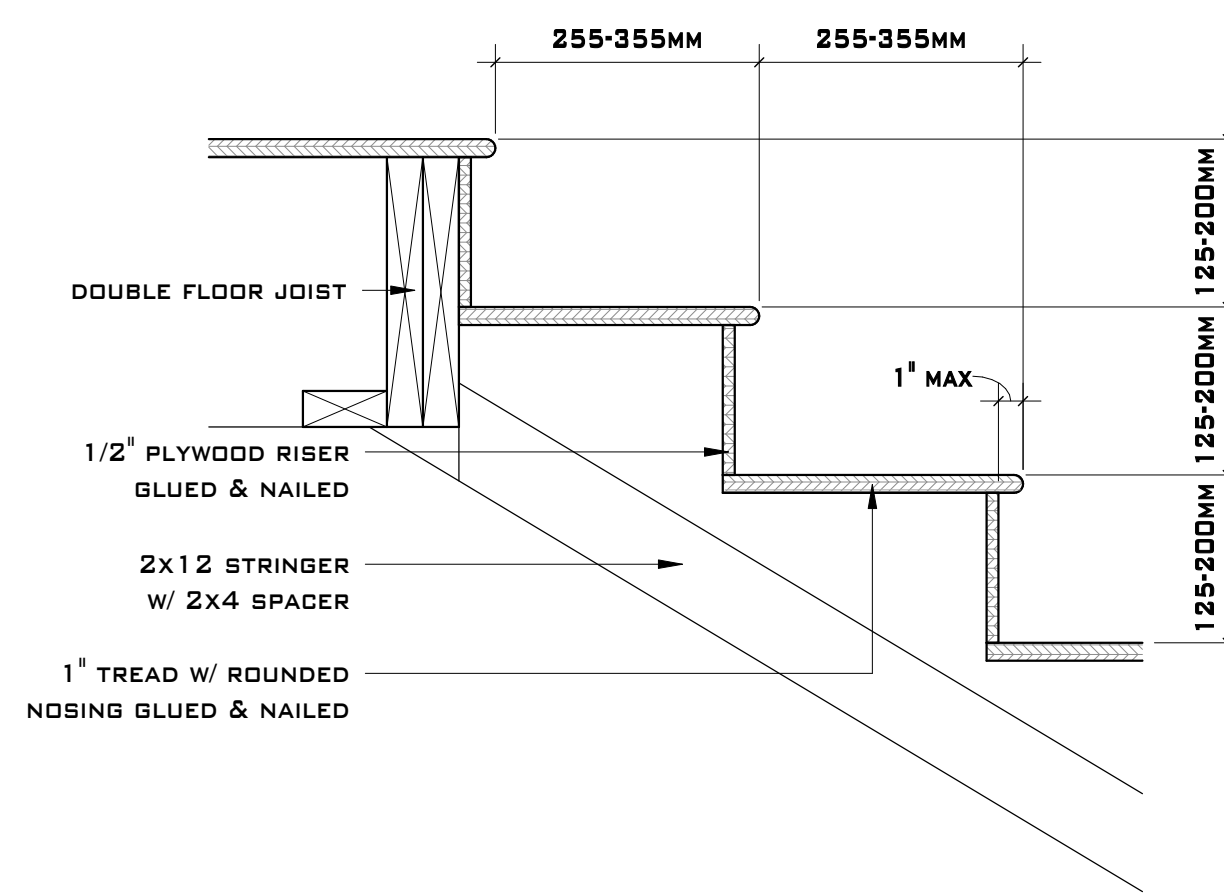
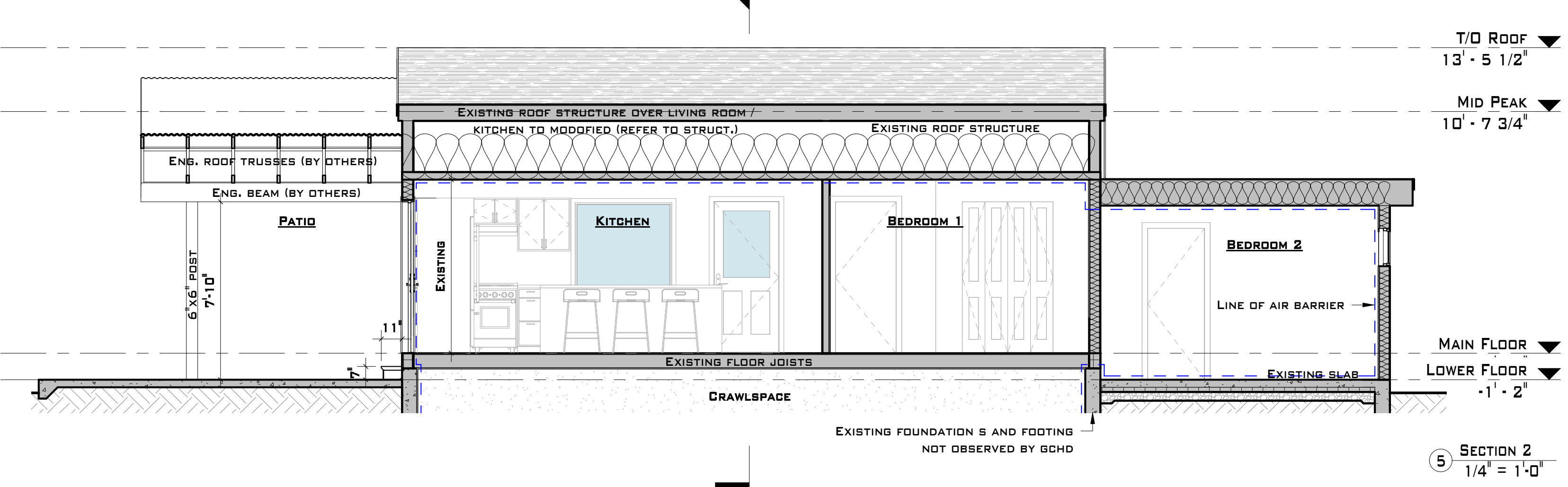
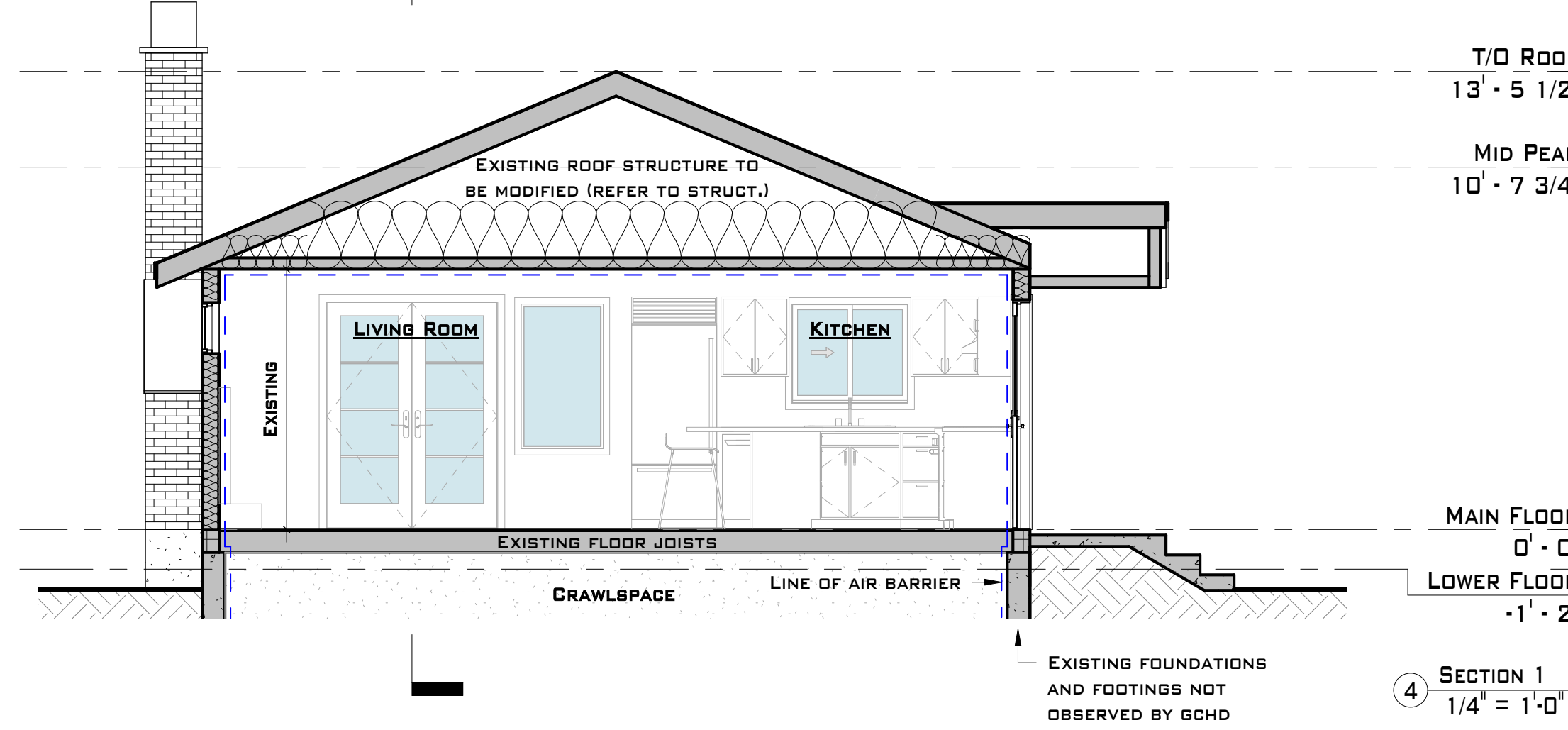
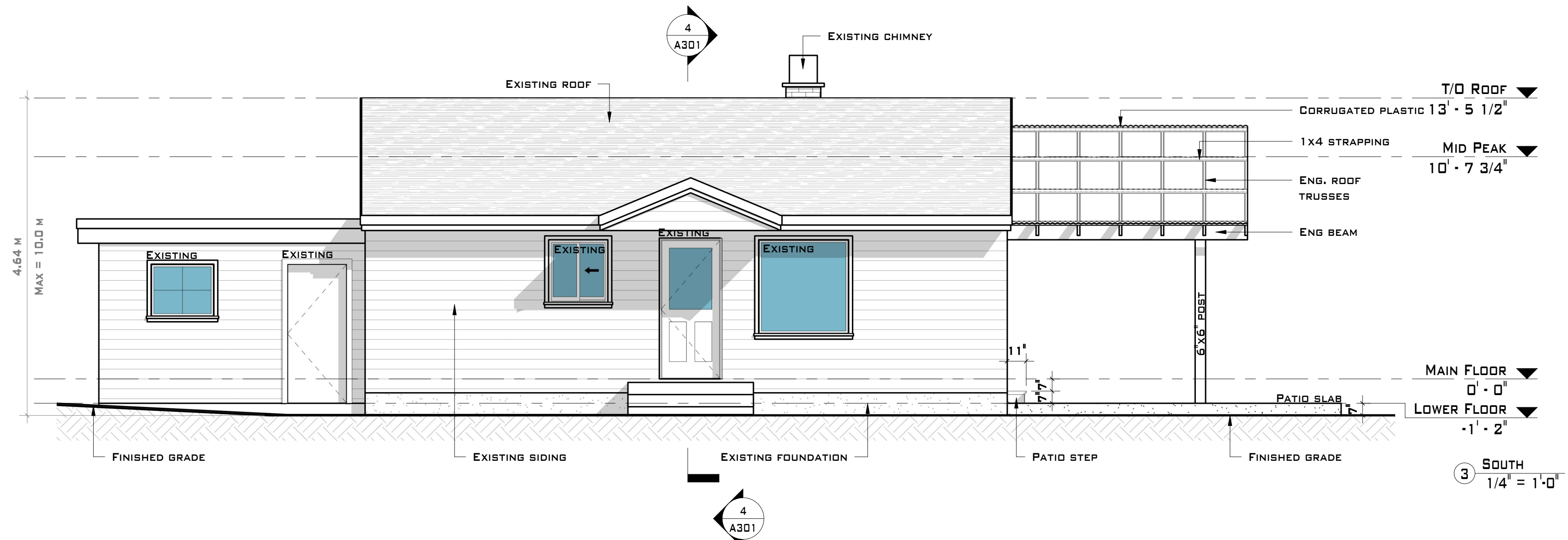
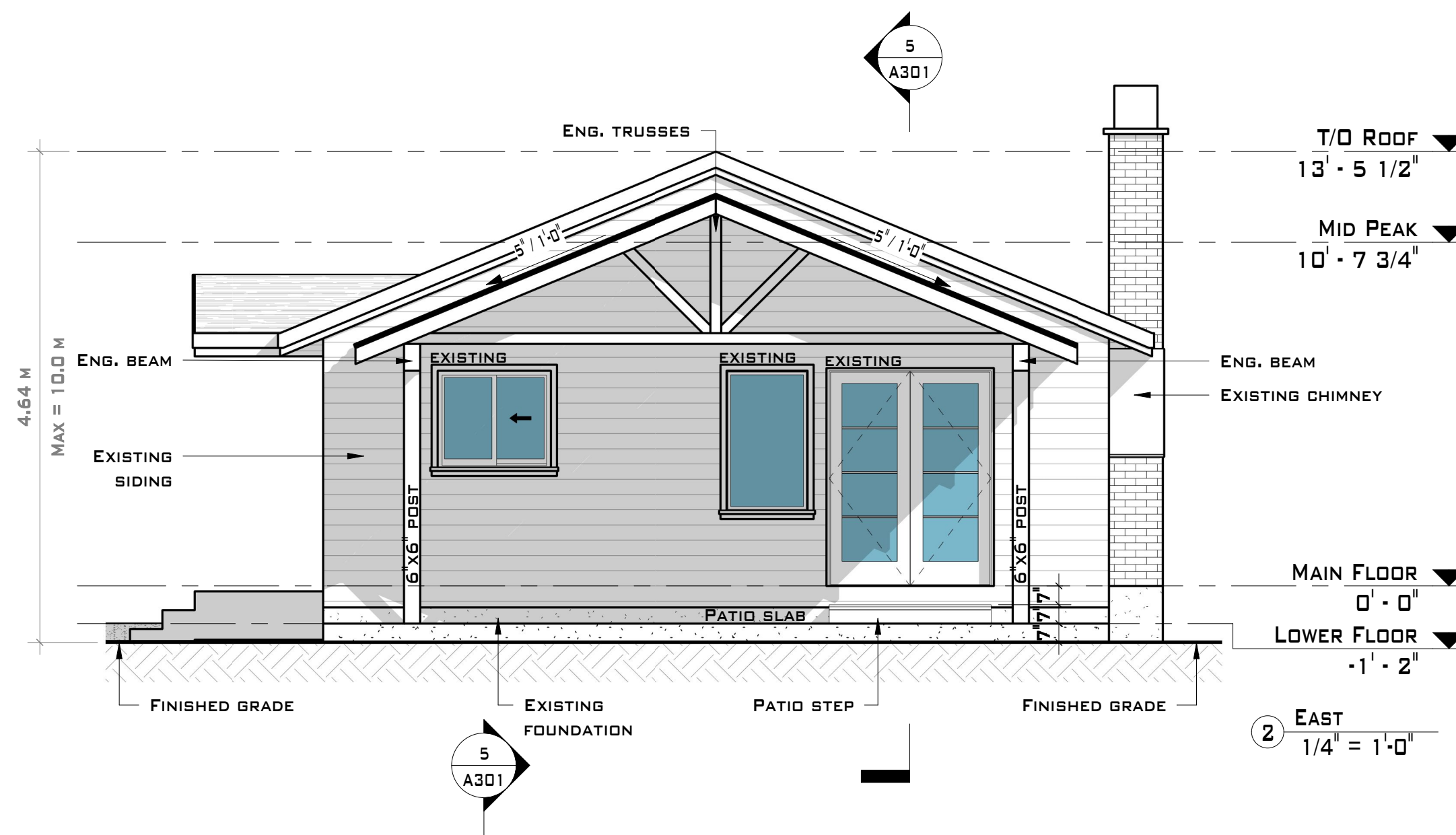
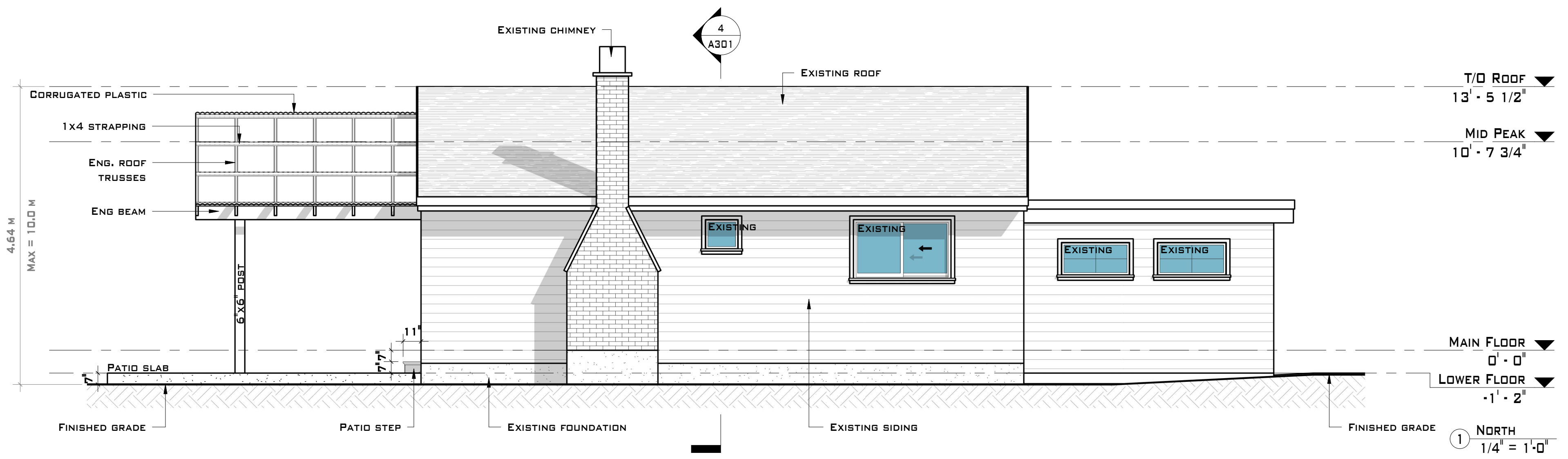


# ELEVATION & EXTERIOR NOTES

- WINDOWS 9.7.4.2 2018 BCBC - ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO NAFS AND A440S1. MINIMUM RATING REQUIREMENT OF PG20 FOR BUILDINGS LESS THAN 10M IN HEIGHT.
- TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED.
- RESISTANCE TO FORCED ENTRY REQUIRED FOR WINDOWS WITHIN 2.0M OF FINISHED GRADE.
- FLASHING INSTALLATION 9.27.3.8.2018 BCBC - FLASHING REQUIRED ABOVE & BELOW ALL UNPROTECTED OPENINGS & HORIZONTAL TRANSITIONS. FLASHING TO BE MINIMUM 50MM UPWARDS INBOARD OF THE SHEATHING MEMBRANE. SLOPE NOT LESS THEN 6% TOWARDS THE EXTERIOR. TERMINATE AT EACH END WITH A DAM
- NO SOFFIT MAY BE VENTED WITHIN 1.2M OF INTERIOR SIDE LOT LINES
- STRUCTURAL WOOD ELEMENTS WITHIN 1'-6" OF FINISHED GRADE MUST BE PRESSURE TREATED
- CONCRETE SHALL NOT BE PLACED AGAINST WOOD FRAMING
- ALL GRADES TO SLOPE AWAY FROM PROJECT
- BCBC 9.3.2.9. (3) A - PROVIDE 6" (150MM) CLEARANCE FROM FINISHED GRADE TO FRAMING.
- BCBC 9.2B.1.4. STUCCO FINISH SHALL NOT BE LESS THAN 8" (200MM) FROM FINISHED GRADE EXCEPT WHEN APPLIED OVER CONCRETE OR MASONRY

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STAIR DETAIL 1  
1 1/2" = 1'-0"

STAIR DETAIL 2  
1 1/2" = 1'-0"



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**KOKOSKA RENOVATION**  
SHEET NUMBER

**A301**

DRAWING TITLE  
**ELEVATIONS, SECTIONS, & STAIR DETAILS**