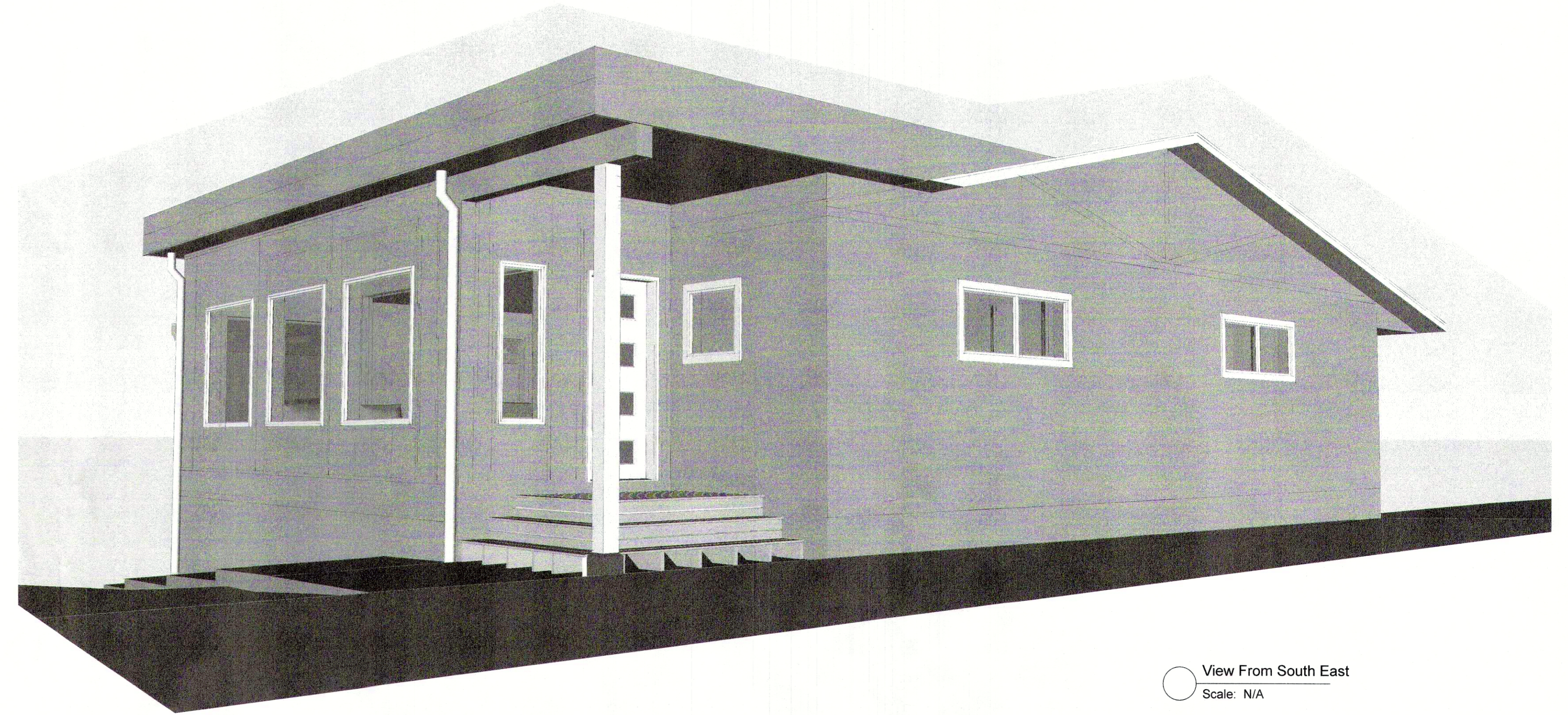
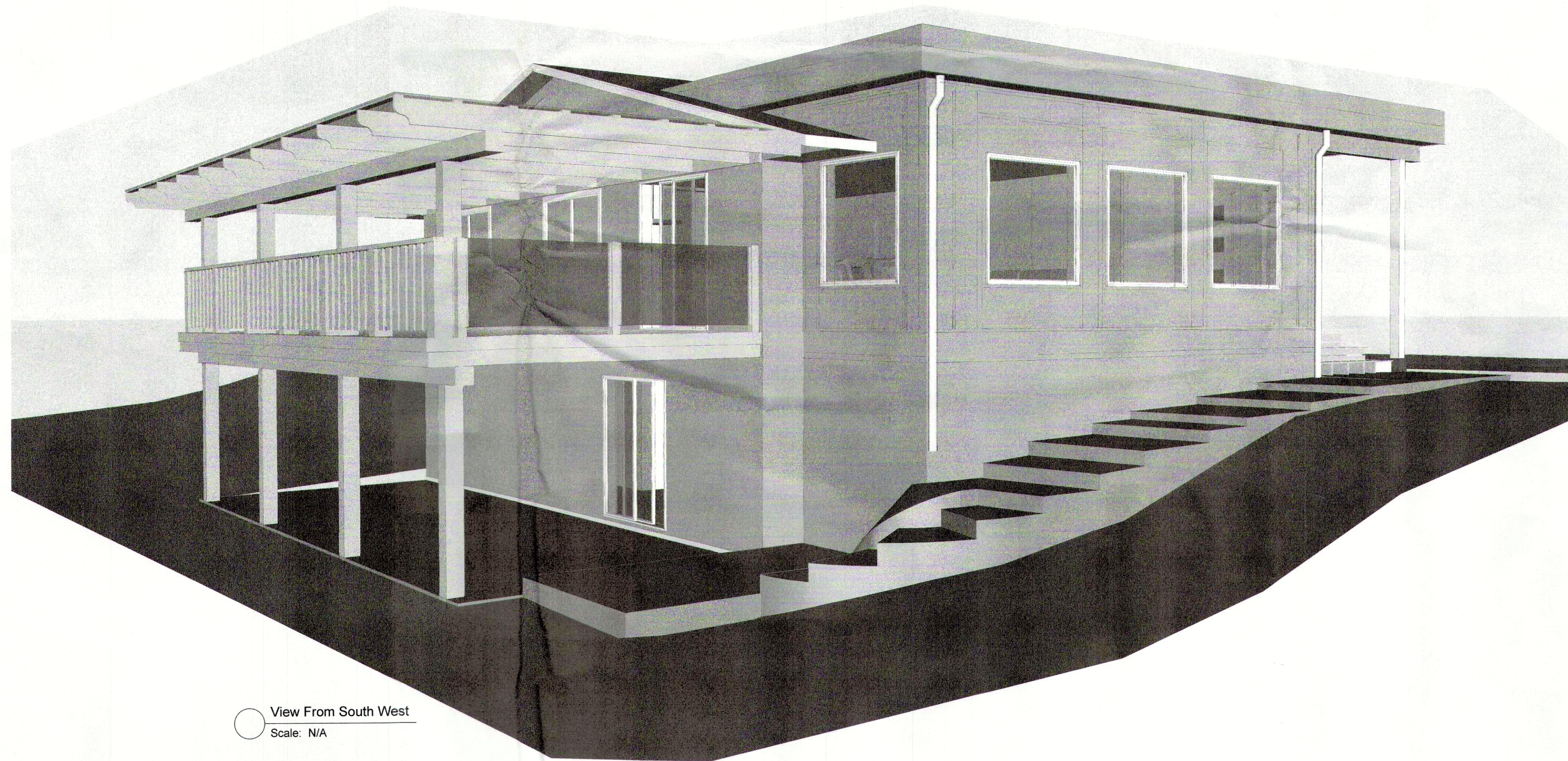


**HUGHES DESIGN Co.**  
 ADDITION OVER EXISTING  
 UNFINISHED BASEMENT  
 1185 MCPHEE RD, NARAMATA, BC  
 LOT: 1  
 PLAN: KAP 28921  
 PID: 004-454-146

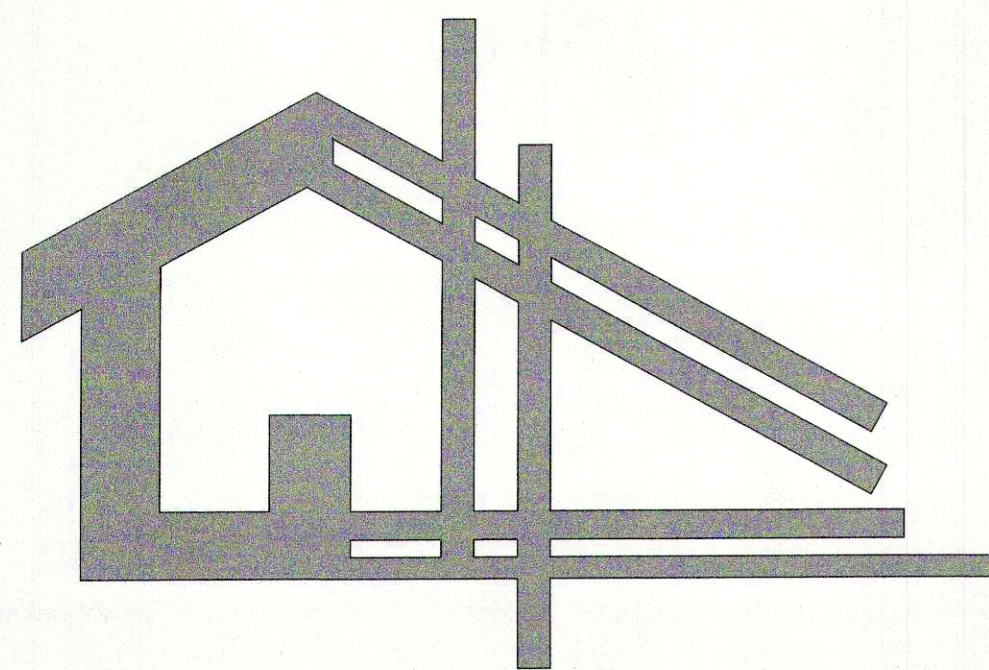


View From South East  
 Scale: N/A



View From South West  
 Scale: N/A

SHEET NUMBER	SHEET NAME
A01	Cover Page
A02	Site Plan
A03	Wall Assembly
A04	Foundation
A05	Basement
A06	Mainfloor
A07	Roof Slope
A08	Joist Layout
A09	Truss Layout
A10	Elevations East /North
A11	Elevations West/South
A12	Section
A13	Details



**MEADOW VIEW DRAFTING AND DESIGN**

14211 Bristow Rd, Summerland, BC

Call: 250-462-0420

Email: craig@meadowviewdrafting.com

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Project:  
 1185 MCPHEE RD,  
 NARAMATA, BC

Client:  
 HUGHES DESIGN Co.

Drawn By:  
 Craig Meadow  
 Scale: As Indicated  
 Pages: 1-13  
 Date: July 10, 2023

Revision #.	Date Issued.

# HUGHES DESIGN Co.

## ADDITION OVER EXISTING UNFINISHED BASEMENT

### 1185 MCPHEE RD, NARAMATA, BC

#### LOT: 1

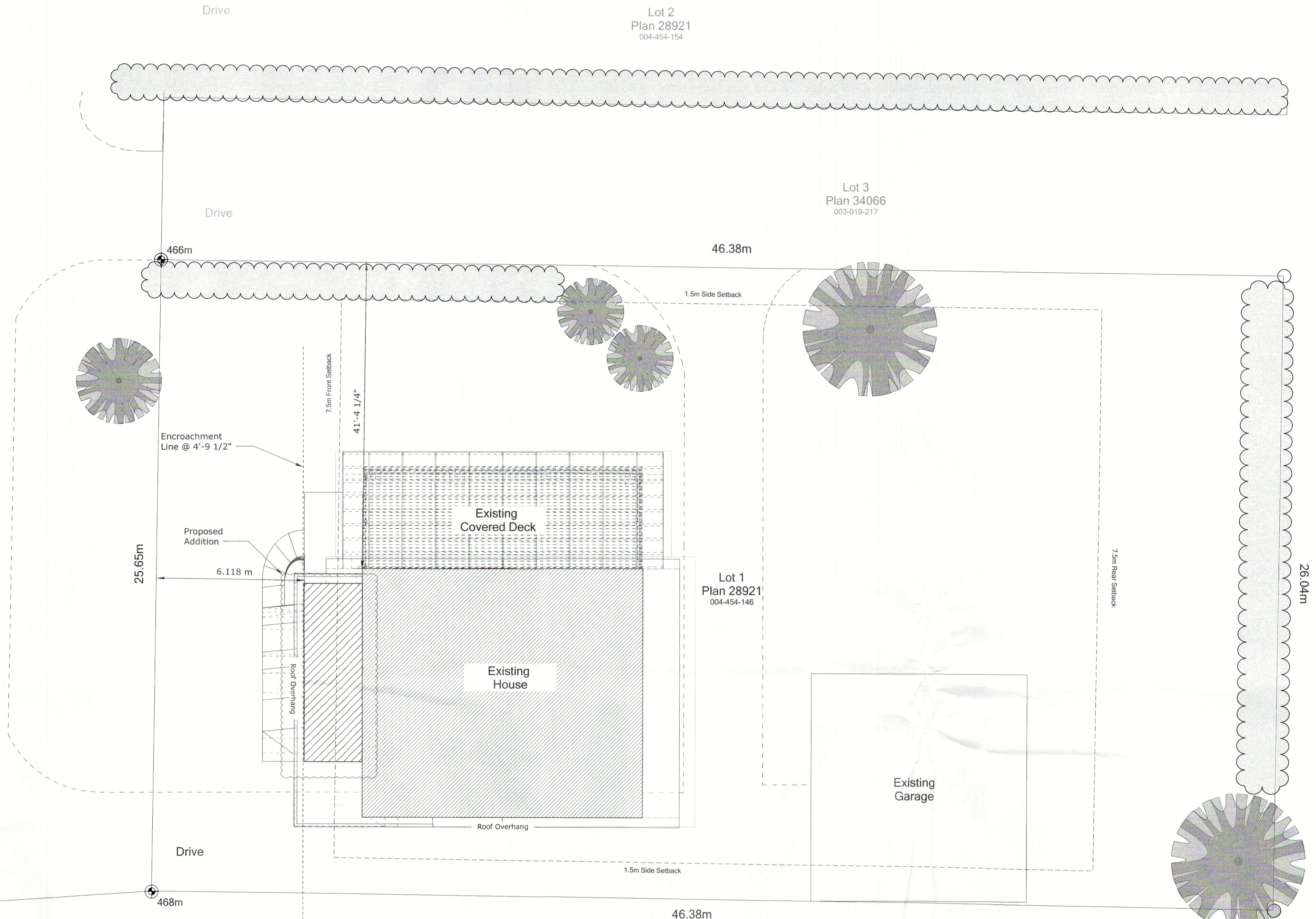
#### PLAN: KAP 28921

#### PID: 004-454-146

SITE RECONCILIATION:	
PROPERTY ZONE - RS3 MAXIMUM LOT COVERAGE: 35% PROVIDED LOT COVERAGE: 22%	
Lot Size: 12006.9sqm (12,991.02 sqft) Existing House: 144.9 sqm (1,560sqft) = 12% Existing Garage: 83.61 sqm (900sqft) = 6% Deck: 48.22 sqm (519sqft) = 4%	
BUILDING SIZE:	
Basement: LIVING SPACE: 114.6 sqm (1237.48 sqft) STAIR WELL: +4.9 sqm (+53.44 sqft) UNFINISHED SPACE: +17.9 sqm (+193 sqft)	
Main Floor: LIVING SPACE: 114.6 sqm (1237.48 sqft) STAIR WELL: +4.9 sqm (+53.44 sqft) ADDITION: +17.9 sqm (+193 sqft)	
PRINCIPAL BUILDING:	
MAXIMUM BUILDING HEIGHT: 6.90m (22'-9 1/2") PROPOSED BUILDING HEIGHT: 6.68m (21'-11") NO CHANGE	
REQUIRED FRONT YARD SETBACK (SOUTH): 7.5m EXISTING/PROPOSED FRONT YARD SETBACK (SOUTH): 6.1m NO CHANGE	
REQUIRED INTERIOR SIDE YARD SETBACK (WEST): 1.5m PROPOSED INTERIOR SIDE YARD SETBACK (WEST): NO CHANGE	
REQUIRED REAR YARD SETBACK (NORTH): 7.5m PROPOSED REAR YARD SETBACK (NORTH): NO CHANGE	
REQUIRED INTERIOR SIDE YARD SETBACK (EAST): 1.5m EXISTING INTERIOR SIDE YARD SETBACK (EAST): NO CHANGE	

GEODETIC ELEVATIONS		
Location	Element	Elevation
Basement	Top of Conc. Slab	466.18
Main Floor	Top of Sub-Floor	468.58

McPhee Ave



SP Site Plan  
Scale: 1:100

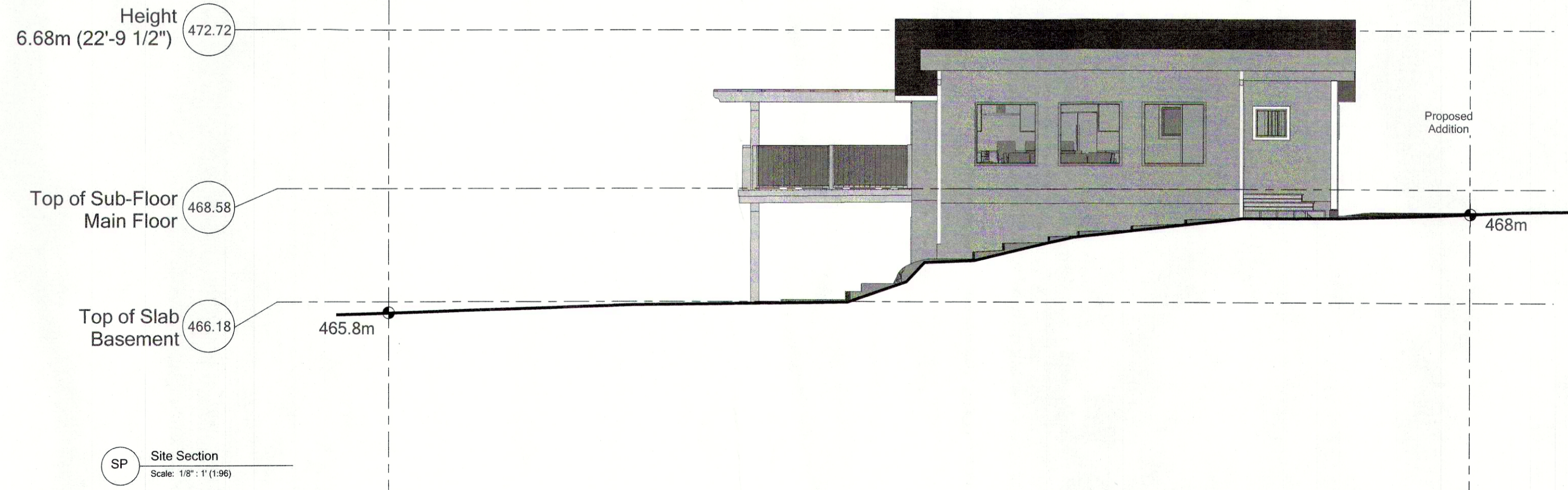
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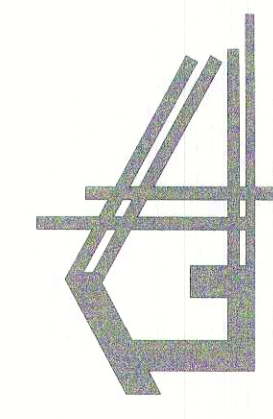
- GENERAL NOTES
1. DIMENSIONS ARE TO FACE OF WALL. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR IS TO CONFIRM ALL DIMENSIONS ON-SITE AND ADJUST DIMENSIONS AS REQUIRED TO SUIT BUILT-IN FIXTURES AND APPLIANCES. ANY SUCH DISCREPANCIES ARE TO BE REPORTED TO THE OWNER.
  2. ALL WORK TO CONFORM TO THE BCBC, LOCAL BYLAWS AND DEVELOPMENT PERMIT REQUIREMENTS. ALL WORK MUST MEET THE STANDARDS OF THE BCBC AND SUB-TRADE ASSOCIATIONS GOVERNING EACH TRADE INVOLVED IN THE PROJECT.
  3. ALL DRAWINGS ARE TO BE READ AS A COMPLETE SET IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS FOR MECHANICAL, ELECTRICAL, GEO-TECH, AND CIVIL AS APPLICABLE.
  4. ONCE WORK COMMENCES ON THIS PROJECT BY ANY SUB-TRADE MEANS THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED.
  5. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THEIR SITE SAFETY AND ARE TO MEET ALL REQUIREMENTS OF THE WCB.
  6. THE SUB-CONTRACTOR IS TO ALL DIMENSIONS AFFECTING THEIR TRADE AND IN THE CASE OF DISCREPANCY THE GC IS TO BE NOTIFIED BEFORE WORK COMMENCES.
  7. GC TO PROVIDE WINDOW AND DOOR SCHEDULE IN CONJUNCTION WITH THESE DRAWINGS FOR CONSTRUCTION. CONTRACTOR TO ENSURE EGRESS MEETS THE CURRENT BCBC.
  8. SMOKE ALARMS AND CARBON DIOXIDE DETECTORS ARE TO BE INSTALLED AS PER THE CURRENT BCBC.
  9. ALL BATHROOMS ARE TO BE EQUIPPED WITH EXHAUST FAN AS PER THE CURRENT BCBC.
  10. INSTALL INTERCONNECTED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS AS REQUIRED AND LOCATED AS PER BCBC.
  11. FLASH ALL EXTERIOR WALL PENETRATIONS AS PER BCBC.
  12. PROVIDE RADON MITIGATION AS PER BCBC.
  13. GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENTS TO SUIT SITE CONDITIONS.
  14. THESE DRAWINGS HAVE BEEN CHECKED BY THE CONTRACTOR.

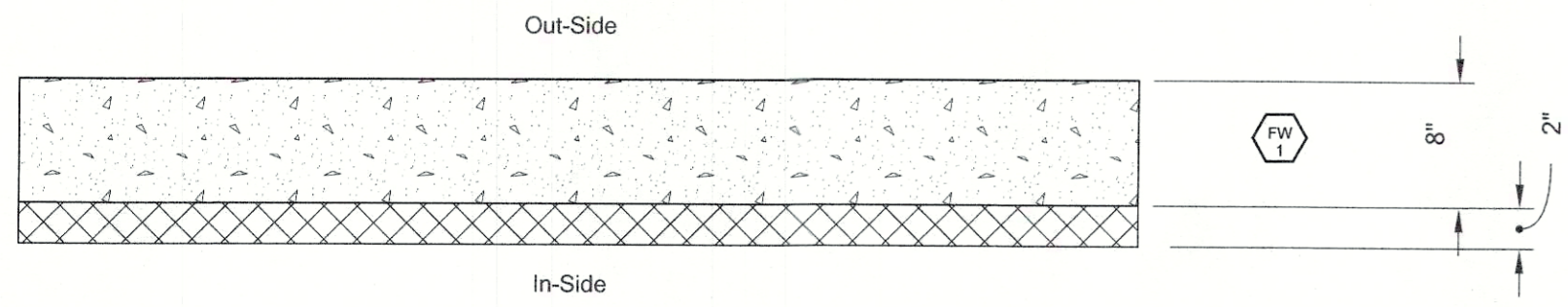
- NOTE:
1. ALL ROOF DRAINAGE TO BE DIRECTED TO ON-SITE APPROVED ROCK PIT.
  2. ALL ON-SITE RUN-OFF AND SURFACE DRAINAGE TO BE CONTROLLED ON-SITE. APPROVED ABSORBENT LANDSCAPING MATERIAL.
  3. STORM WATER CALCULATIONS TO BE COMPLETED BY ENGINEER AS REQUIRED.
  4. ROCK PIT SIZES TO BE PROVIDED BY ENGINEER AS REQUIRED.
  5. PROVIDE DRAINAGE AWAY FROM THE BUILDING FOUNDATION.
  6. MIN. SLOPE AWAY FROM BUILDING FOR AT LEAST 5'-0": 5% (APPROX. 3/4" PER 12")
  - IF ROOF OVERHANG PROJECTS WITHIN 12 IN. OF PROPERTY LINE PROTECT SOFFIT (NON-VENTING SOFFIT) AS PER 9.10.15.5.(10) OF THE BCBC
  - GRADE ELEVATIONS TO BE CONFIRMED ON SITE BY CONTRACTOR. ELEVATIONS HAVE NOT BEEN VERIFIED ON-SITE BY DESIGNER.
  - FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS AND MANUFACTURER SPECIFICATIONS.

SP Site Section  
Scale: 1/8" = 1' (1:96)



Note:  
Property distance and grading information are derived from documents supplied by the client and scaled mapping obtained from the R.D.O.S. GIS Web Map Services. All distances and grades to be confirmed on site





Typical Walls Below and in Contact with Ground 8" Cast in Place Reinf. Foundation wall		
Element	Details	Effective RSI
Continuous Materials	Air film Exterior, wall (heat flow horizontal)	0.03
Continuous Materials	Damp Proofing Dimple Board and Membrane	0.00
Continuous Materials	Conc. Foundation wall, 200mm(8") @ 0.0004 RSI/mm	0.08
Continuous Materials	Type 2 XPS 51mm (2") at 0.035 RSI/mm	1.78
Continuous Materials	Air film interior, wall (heat flow horizontal)	0.12
<b>Total</b>		<b>2.01</b>

**VENTILATION - SECTION 9.32:**

EXHAUST ONLY VENTILATION IS NO LONGER ACCEPTABLE PRINCIPLE EXHAUST FAN TO BE 2 SPEED FAN FOR CONTINUOUS OPERATION AT LOW SPEED WITH WALL SWITCH IN BATHROOM FOR SECOND SPEED WHEN USED FOR MOISTURE EXTRACTION

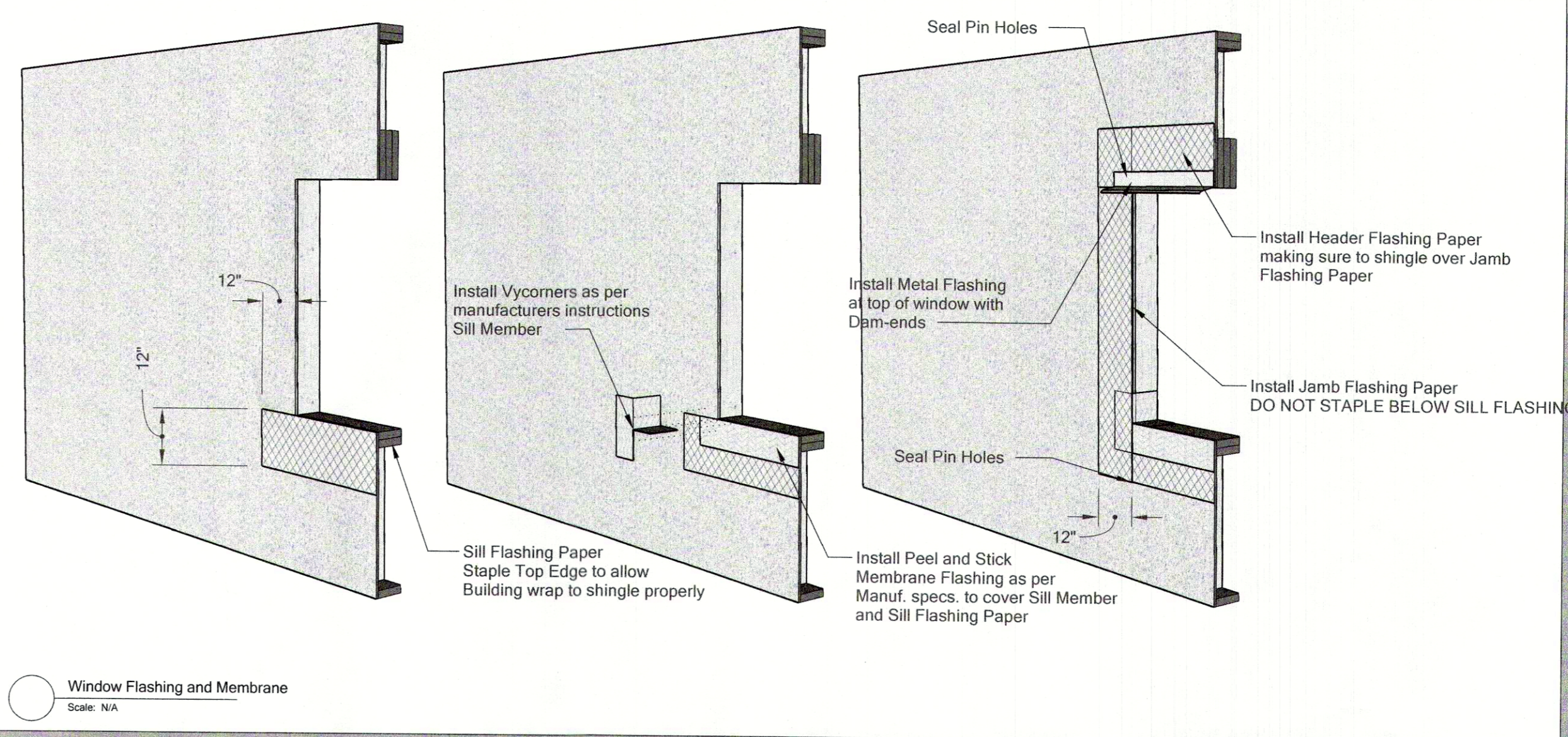
CONTRACTOR TO ENSURE ALL VENTILATION REQ. CONFORM TO THE 2018 BCBC

CONTRACTOR TO ENSURE AN ADEQUATE GAP IS RETAINED BETWEEN BOTTOM OF DOOR IN BEDROOMS AND FINISHED FLOOR TO ALLOW FOR AIR FLOW FROM BEDROOM

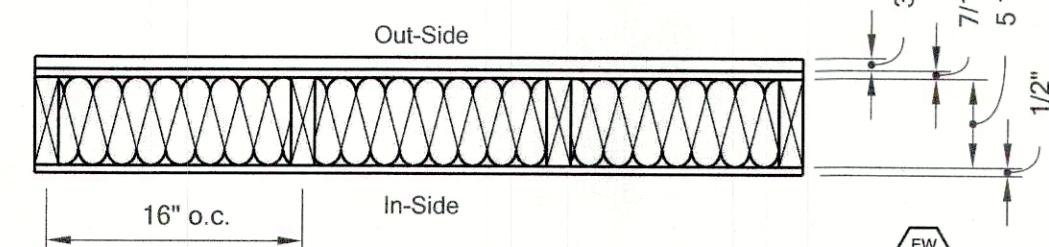
**9.32.3.5 PRINCIPLE VENTILATION SYSTEM FAN REQ.**

FLOOR AREA SQ. M.	MIN. AIR FLOW RATE L/s				
	NO. OF BEDROOMS				
<140	0-1	2-3	4-5	6-7	>7
140-280	14	21	28	35	42
281-420	28	35	42	49	56
421-560	35	42	49	56	64
561-700	42	49	56	64	71
>700	49	56	64	71	78

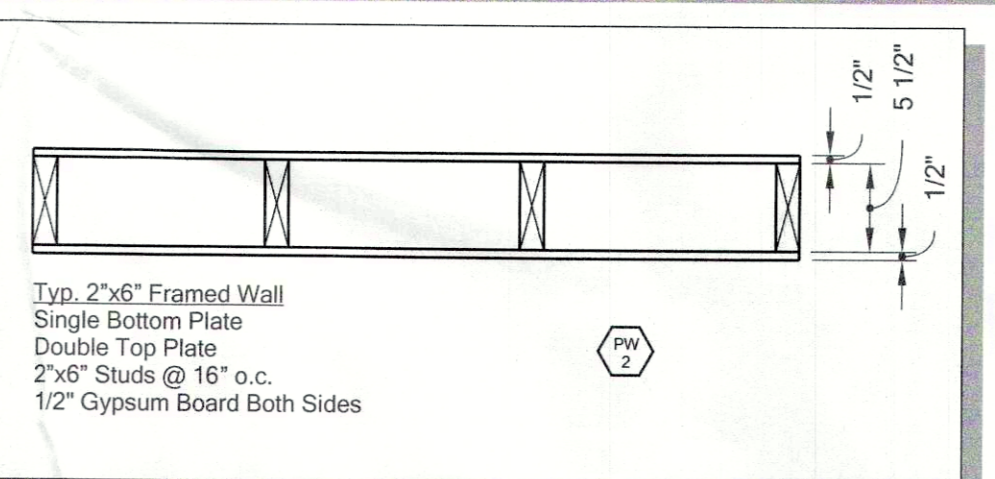
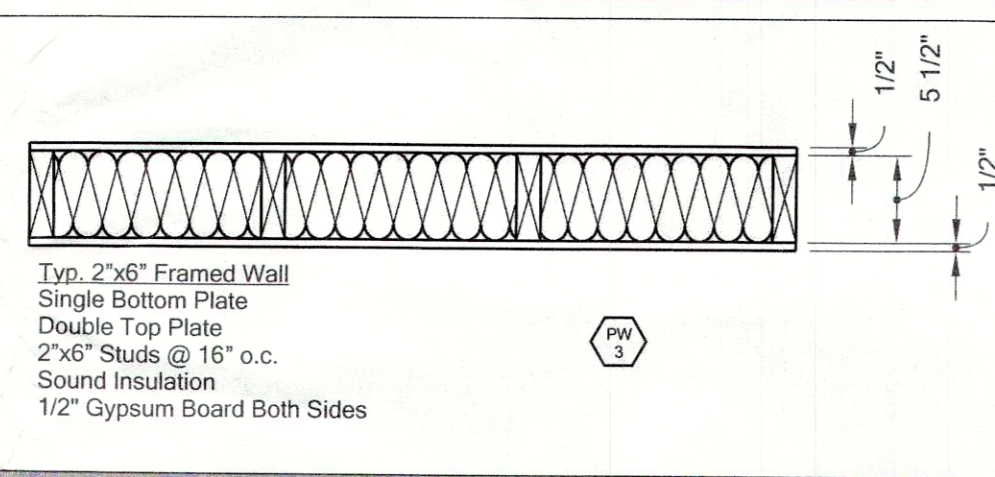
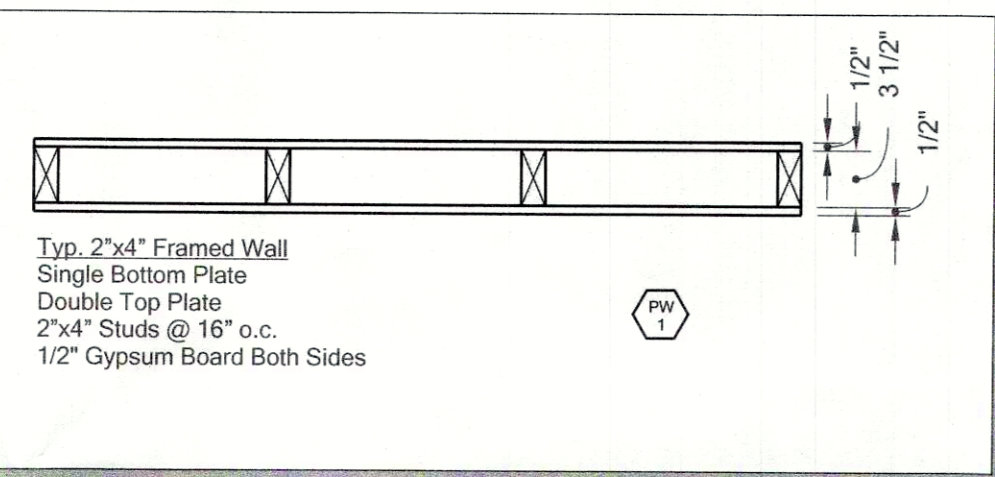
PRIMARY VENTILATION CAN BE ACHIEVED BY THE USE OF AN HRV



Window Flashing and Membrane  
Scale: N/A



2"x6" Framed Wall with R-24 Batt Insulation 2"x6" Studs @ 16" o.c.		
Element	Details	Effective RSI
Continuous Materials	Air film exterior	0.03
Continuous Materials	Stucco	0.00
Continuous Materials	OSB Sheeting, 11mm (7/16") @ 0.0098 RSI/mm	0.11
Framed Cavity	Stud dimensional Lumber: 38mmx140mm(2x6) 406mm(16") on-centre RSI 4.23(R-24) cavity fill between studs	2.66
Continuous Materials	Polyethylene vapour retarder	0.00
Continuous Materials	Gypsum board, 12.7mm(1/2") @ 0.0063 RSI/mm	0.08
Continuous Materials	Air film interior (heat flow horizontal)	0.12
<b>Total</b>		<b>3.00</b>



**AIRTIGHTNESS & AIR BARRIER NOTES: (9.36.2.9 & 9.36.2.10) SEE 9.36. DETAIL SHEETS ATTACHED**

FLEXIBLE SHEET AIR BARRIER MATERIALS REQUIRE ALL JOISTS TO BE:

- LAPPED AT LEAST 50mm (2")
- SEALED WITH NON-HARDENING SEALANTS
- STRUCTURALLY SUPPORTED

JUNCTIONS BETWEEN THE FLOOR AND RIM JOISTS TO FOUNDATION TO BE SEALED.

POLY HATS ARE REQUIRED ON EXTERIOR WALLS AND CEILINGS FOR ELECTRICAL BOXES AND POT LIGHTS AND MUST BE SEALED TO THE AIR/VAPOUR BARRIER.

ATTIC HATCHES AND ALL ELECTRICAL PENETRATIONS INTO THE ATTIC SPACE ALONG ANY GAPS, SPACES PENETRATION, IRREGULARITIES THAT COULD INHIBIT LEAKAGE MUST BE SEALED.

GASKETED ELECTRICAL BOXES REQUIRE THE WIRES INTO THE BOX TO BE SEALED.

METAL CHIMNEYS ARE TO BE SEALED WITH HIGH TEMPERATURE SEALANT AT THE VAPOUR BARRIER LOCATION

**CONTINUITY OF INSULATION - 9.36.2.5**

THE CONTINUITY OF THE EFFECTIVENESS OF INSULATION IS REQUIRED. REFER TO SECTION 9.36.2.5 OF THE BCBC FOR FURTHER REQUIREMENTS.

**HVAC & SERVICE WATER HEATING REQUIREMENTS SECTION 9.36.3 & 9.36.4**

THE DESIGN AND INSTALLATION OF HVAC AND SERVICE WATER HEATING SYSTEMS ARE TO CONFORM TO SECTION 9.36.3.1 & 9.36.4.1

HEATING AND AIR CONDITIONING APPLIANCES TO CONFORM TO BCBC 9.33.4.1 AND SUB SECTION 9.32.3 FOR THE DESIGN OF SYSTEMS PROVIDING VENTILATION

ALL HEATING AND AIR CONDITIONING APPLIANCES TO HAVE A MINIMUM CAPACITY CONFORMING TO BCBC 9.33.5.1 AND BE INSTALLED USING THE STANDARDS LISTED IN SECTION 9.33.5.2

THE OWNER/BUILDER(S) ARE RESPONSIBLE FOR THE SELECTION OF SPACE HEATING/COOLING AND SERVICE WATER HEATING EQUIPMENT. THEY MUST ENSURE THE SELECTED EQUIPMENT MEETS OR EXCEEDS THE PERFORMANCE RATINGS AS PER THE 2018 BCBC INCLUDING THE LATEST REVISIONS.

DUCTS MUST BE INSULATED TO THE SAME LEVEL AS REQUIRED FOR WALL(R-20) IF THEY ARE OUTSIDE OF THE HEATED SPACE AND CARRY CONDITIONED AIR. ALL TRANSVERSE AND LONGITUDINAL JOINTS MUST BE SEALED USING AN APPROVED TAPE AND SEALANT WHEN OUTSIDE THE HEATED SPACE. SEE SECTION 9.36.3.2.

FOR AIR INTAKE AND OUTLET DAMPER REQUIREMENTS SEE SECTION 9.36.3.3

EXHAUST DUCTS MUST DISCHARGE TO THE OUTSIDE

EXHAUST & SUPPLY DUCTS MUST BE SIZED AS REQUIRED BY THE MANUFACTURER & EQUIVALENT DIAMETER AS PER TABLE 9.32.3.8.(3)

PIPING FOR HEATING & COOLING SYSTEMS MUST BE LOCATED INSIDE THE PLANE OF INSULATION TO REDUCE THERMAL LOSSES FROM THE PIPING SYSTEM. WHERE PIPING IS INSTALLED OUTSIDE THE PLANE OF INSULATION ADDITIONAL INSULATION IS REQUIRED TO ACHIEVE A THERMAL RESISTANCE EQUIVALENT TO THE EXTERIOR ABOVE GRADE WALL OF R-20.

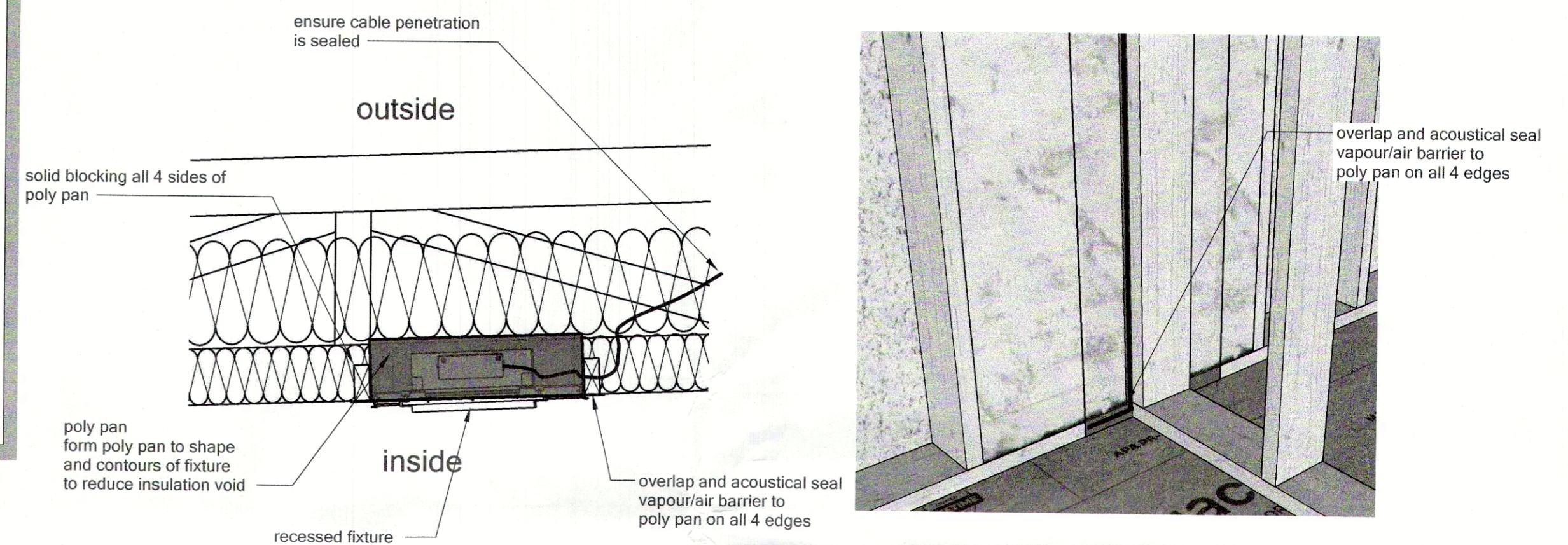
HEATING & AIR CONDITIONING EQUIPMENT MUST BE LOCATED IN THE CONDITIONED SPACE UNLESS IT IS DESIGNED TO BE LOCATED OUTSIDE

HEATING & COOLING THERMOSTATS MUST BE ACCURATE TO PLUS OR MINUS 0.5 DEGREES CELSIUS.

WATER PIPING MUST BE INSULATED FOR 2m ON EITHER SIDE OF THE HOT WATER TANK TO A MIN. OF AT LEAST 12mm THICK.

A 4" DIA. SMOOTH OR 6" FLEX DUCT IS TO BE TIED INTO THE RETURN AIR PLENUM A MIN. OF 10' TO A MAXIMUM OF 15' FROM THE FURNACE

FURNACE FAN TO RUN CONTINUOUSLY



POLY PANS ARE TO BE INSTALLED AT THE TIME OF LIGHT INSTALLATION. SLICING THE POLY PAN TO INSTALL LATER IS NOT AN ACCEPTABLE PRACTICE. THE FLANGES OF THE POLY PANS WITH REQUIRE BACKING ALL AROUND FOR PROPER AIR SEAL. THE HOLE FOR ELEC. WIRE IS TO BE A TIGHT CUT TO THE PAN & SEALED WITH VAPOUR BARRIER SEALANT

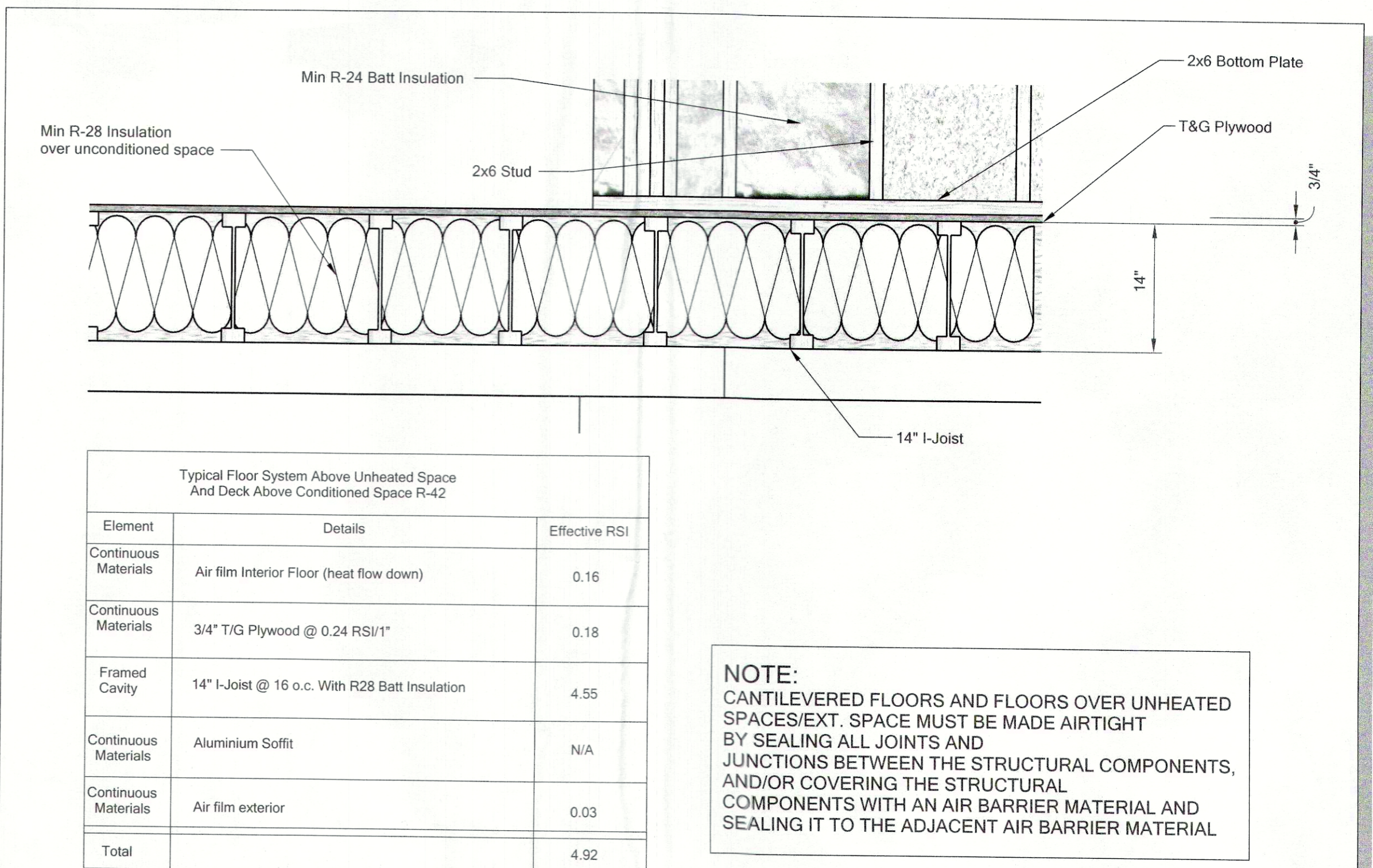
INT. WALLS THAT MEET EXT. WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIRTIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL, OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INT. WALL.

NOTE: ALL ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHES, AND RECESSED LIGHT FIXTURES THROUGH THE PLANE OF AIRTIGHTNESS MUST BE AIRTIGHT.

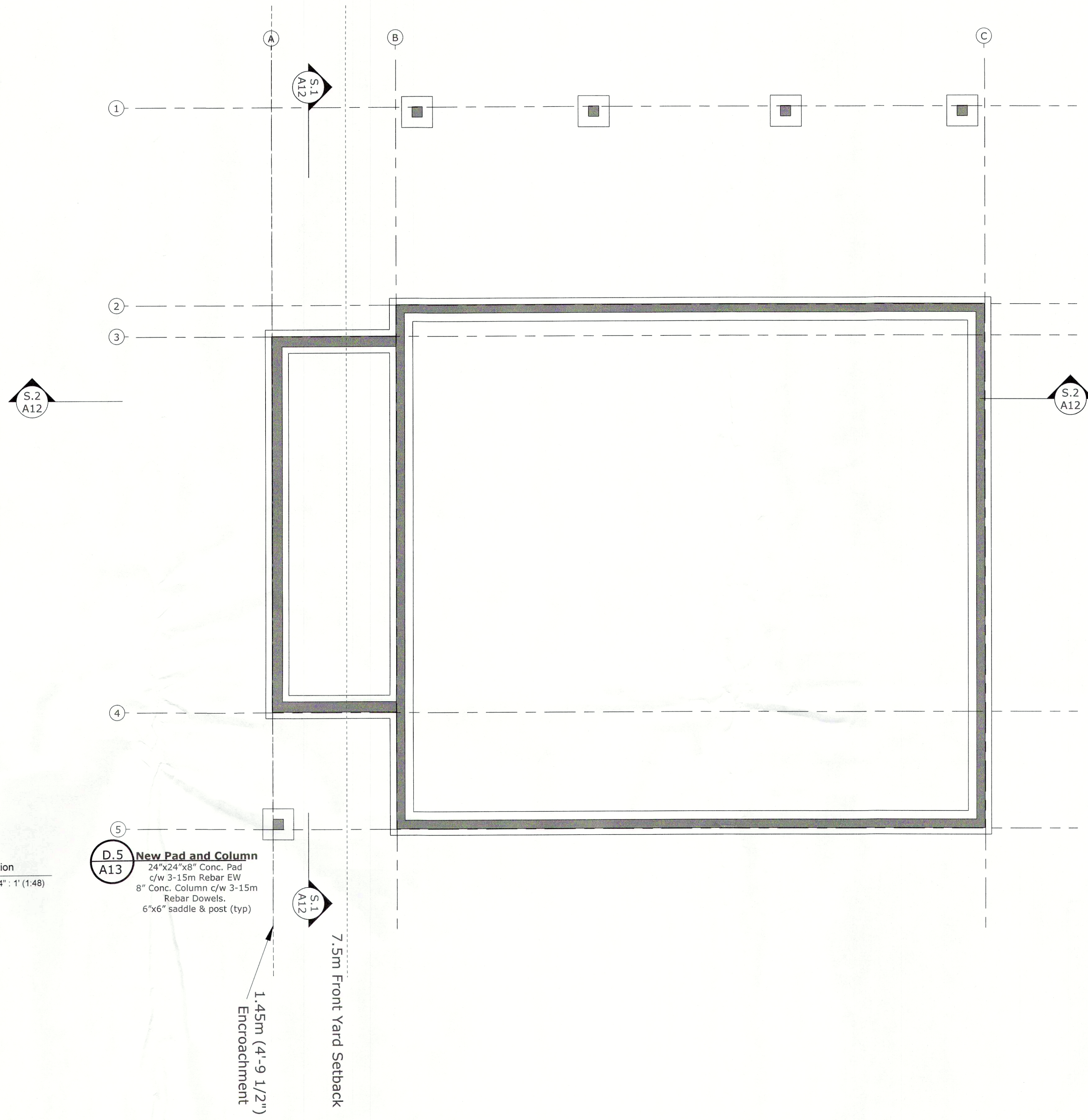
- GENERAL NOTES:**
- REFER TO SECTIONS AND ELEVATIONS FOR HEIGHT OF FOUNDATION WALLS
  - ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR
  - CENTER FOOTINGS UNDER COLUMNS
  - BEARING SURFACES MUST BE PROTECTED FROM FREEZING BEFORE AND AFTER FOOTINGS ARE POURED
  - ALL EXTERIOR FOOTINGS TO BE PROVIDED WITH PERIMETER DRAINAGE SYSTEM AS PER SECTIONS
  - REFER TO BUILDING SECTION ON 1/AS.01 FOR RADON PROTECTION AS PER BCBC 2012
  - DO NOT BACKFILL WALL UNTIL FLOOR JOISTS AND SHEATHING ARE IN PLACE TO LATERALLY SUPPORT WALL
  - REFER TO SUPPLIER SHOP DRAWINGS FOR SIZING, SPACING, HANGERS ETC.
  - ALL STRUCTURAL ELEMENTS INCLUDING, BUT NOT EXCLUSIVE TO, BEAMS, JOISTS, RAFTERS, COLUMNS, HANGERS, FOOTINGS AND FOUNDATIONS TO BE CONFIRMED WITH SUPPLIER BY CONTRACTOR BEFORE ORDERING AND INSTALLATION. PROVIDE SHOP DRAWINGS.
  - ALL STRUCTURAL ELEMENTS INCLUDING, BUT NOT EXCLUSIVE TO, BEAMS, JOISTS, RAFTERS, COLUMNS, HANGERS, FOOTINGS AND FOUNDATIONS TO BE INSTALLED AS PER SUPPLIERS INSTRUCTIONS. PROVIDE SHOP DRAWINGS.
  - ALL FOUNDATION WALLS ARE 8" THICK UNLESS OTHERWISE SPECIFIED
  - CONTRACTOR TO COMPLY WITH BCBC 2012 AND ANY AND ALL APPLICABLE REGIONAL, PROVINCIAL AND FEDERAL BUILDING CODES AND REGULATIONS.
  - ALL TRADES AND SUBTRADES TO PROVIDE SHOP DRAWINGS FOR REVIEW AS REQUIRED.
  - ALL STRUCTURAL ELEMENTS INCLUDING, BUT NOT EXCLUSIVE TO, BEAMS, JOISTS, RAFTERS, COLUMNS, HANGERS, FOOTINGS AND FOUNDATIONS TO BE CONFIRMED BY QUALIFIED ENGINEERING PROFESSIONAL.

- ADDITIONAL INFORMATION**
- ALL WORKMANSHIP IS TO BE BEST BUILDING PRACTICES
- CONSTRUCTION SET WAS CREATED TO MEET BCBC 2012. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO ENSURE COMPLIANCE TO BCBC 2012, FCABC AND ALL NATIONAL AND LOCAL BUILDING REQUIREMENTS.
- PRIOR TO CONSTRUCTION OWNER/BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS DRAWING SET. ANY VARIANCE FROM THE STRUCTURAL SYSTEM DRAWINGS ENCOUNTERED ON THE SITE SHALL BE RESOLVED BY THE OWNER/BUILDER ON SITE.
- CONCRETE AND FOOTINGS ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2900 PSI (20 MPa) AT 28 DAYS.
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. MINIMUM 2" COVER. FOOTINGS TO BE CONSTRUCTED ON A MINIMUM BEARING CAPACITY OF 2500 PSF. IT IS THE OWNER/BUILDERS RESPONSIBILITY TO HAVE FOOTINGS REDESIGNED IF REQUIRED.
- ALL GRADES AND BEARING CONDITIONS ARE SITE SPECIFIC AND NEED TO BE COORDINATED BY BUILDER/OWNER ON SITE.
- INSULATION AND VENTILATION MINIMUM INSULATION REQUIREMENTS:**
- ROOF/CEILING - R40  
WALLS - R20  
GARAGE CEILING - R30
- CEILING INSULATION MAY BE LOOSE FILLED. WALLS AND FLOORS TO BE BATT. INSULATION. PERIMETER OF JOIST SPACES TO BE SPRAY FOAM.
- WALL AND CEILING BETWEEN ATTACHED GARAGE MUST BE INSULATED.
- ALL ROOF SPACES NEED TO BE VENTILATED CONTINUOUSLY VIA SOFFIT, GABLE VENTS OR A COMBINATION OF BOTH EQUALLY DISTRIBUTED BETWEEN BOTH CONDITIONS.

- CARPENTRY**
- FRAMING LUMBER TO BE #2 OR BETTER SPRUCE UNLESS OTHERWISE SPECIFIED.
- ALL BEAM AND LINTEL SIZES TO BE CONFIRMED BY TRUSS MANUFACTURER AND CONTRACTOR. ALL BEAM AND LINTEL SIZES PROVIDED BY TRUSS/FLOOR MANUFACTURER TAKE PRECEDENCE OVER DRAWINGS.
- JOISTS NEED TO BE PLACED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SYSTEMS. IN THE EVENT OF ANY DISCREPANCIES CONTRACT JOIST MANUFACTURER BEFORE MAKING ANY ALTERATIONS OR CUTS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE DAMPPROOFED WITH 45lb FELT OR A SILL PLATE GASKET AND PRESSURE TREATED WATERBORNE PRESERVATIVE OR OTHER APPROVED METHOD ON EXTERIOR WALLS.
- PLATES TO BE ANCHORED TO CONCRETE WALLS WITH 1/2" ANCHOR BOLTS, MAX. 6" o.c. OR EQUIVALENT APPROVED CONSTRUCTION METHOD.
- MISCELLANEOUS**
- CAULK AROUND ALL EXTERIOR OPENINGS WITH APPROVED NON-HARDENING CALKING COMPOUNDS. FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS. FLASH OVER ALL EXTERIOR OPENINGS.
- ALL EXTERIOR FINISHES MUST BE A MINIMUM 8" ABOVE FINISHED GRADE.
- ALL RAILINGS MUST BE BUILT TO BCBC 2012, MIN. 42" (1070mm) HEIGHT. MAXIMUM SPACING BETWEEN VERTICAL MEMBERS 4" (100mm). INSTALL RAILING AS PER MANUFACTURERS INSTALLATION GUIDELINES.
- OWNER/BUILDER TO ENSURE COMPLIANCE TO LOCAL SOLAR WATER HEATER READY REQUIREMENTS. REFER TO THE GUIDE TO THE PROVINCE OF BC SOLAR WATER READY REGULATIONS 2013 FOR DETAILED GUIDELINES



**NOTE:** CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/EXT. SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL



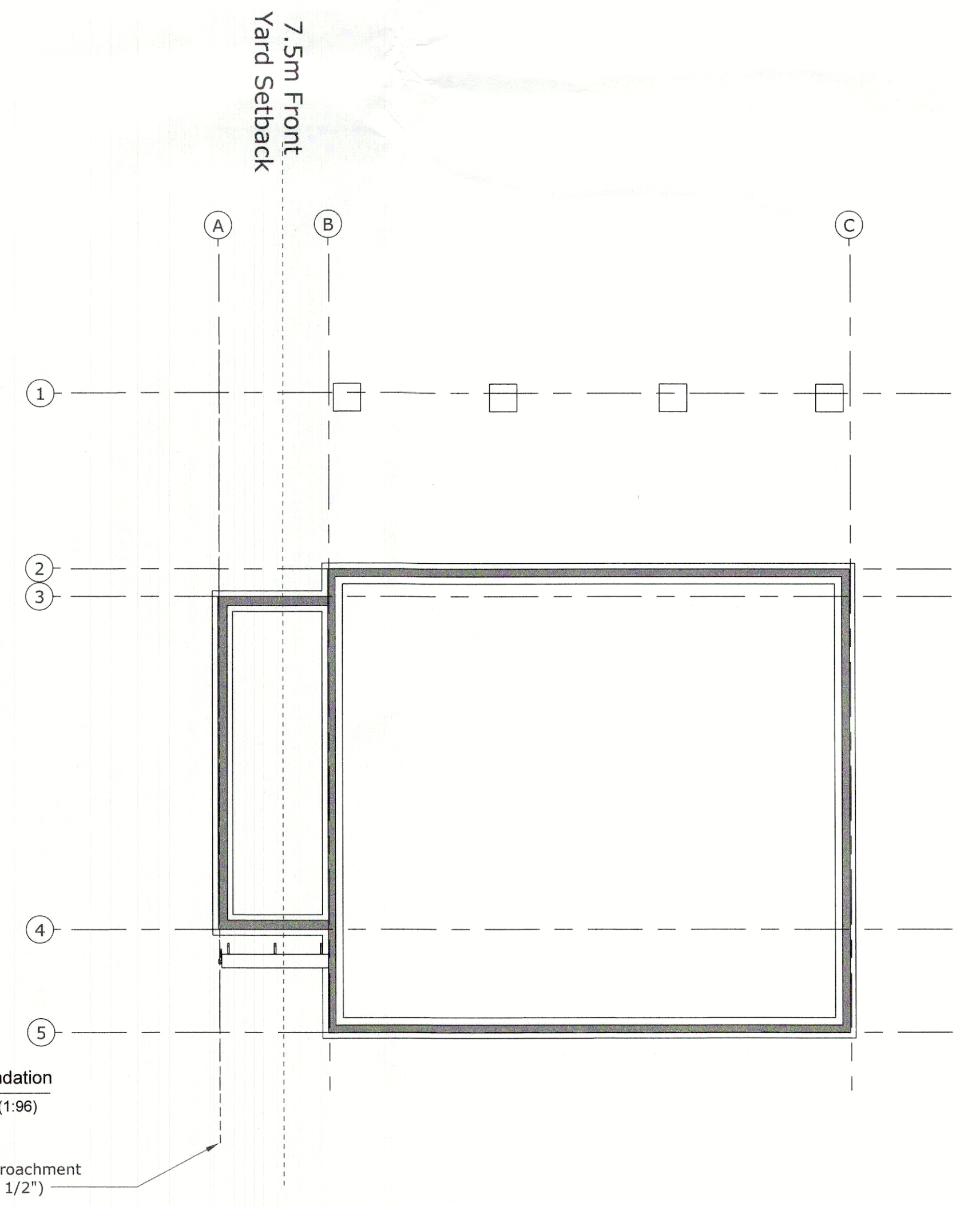
**1** Foundation  
Scale: 1/4" : 1' (1:48)

**D.5 A13** **New Pad and Column**  
24"x24"x8" Conc. Pad  
c/w 3-15m Rebar EW  
8" Conc. Column c/w 3-15m  
Rebar Dowels.  
6"x6" saddle & post (typ)

**Note:**  
0.6m (2') of Finished Grade  
All Finished Grades To Slope Away from Building  
All Footings to sit on Undisturbed Soil  
All Back Fill Materials to be Approved and free from Sharp Edges

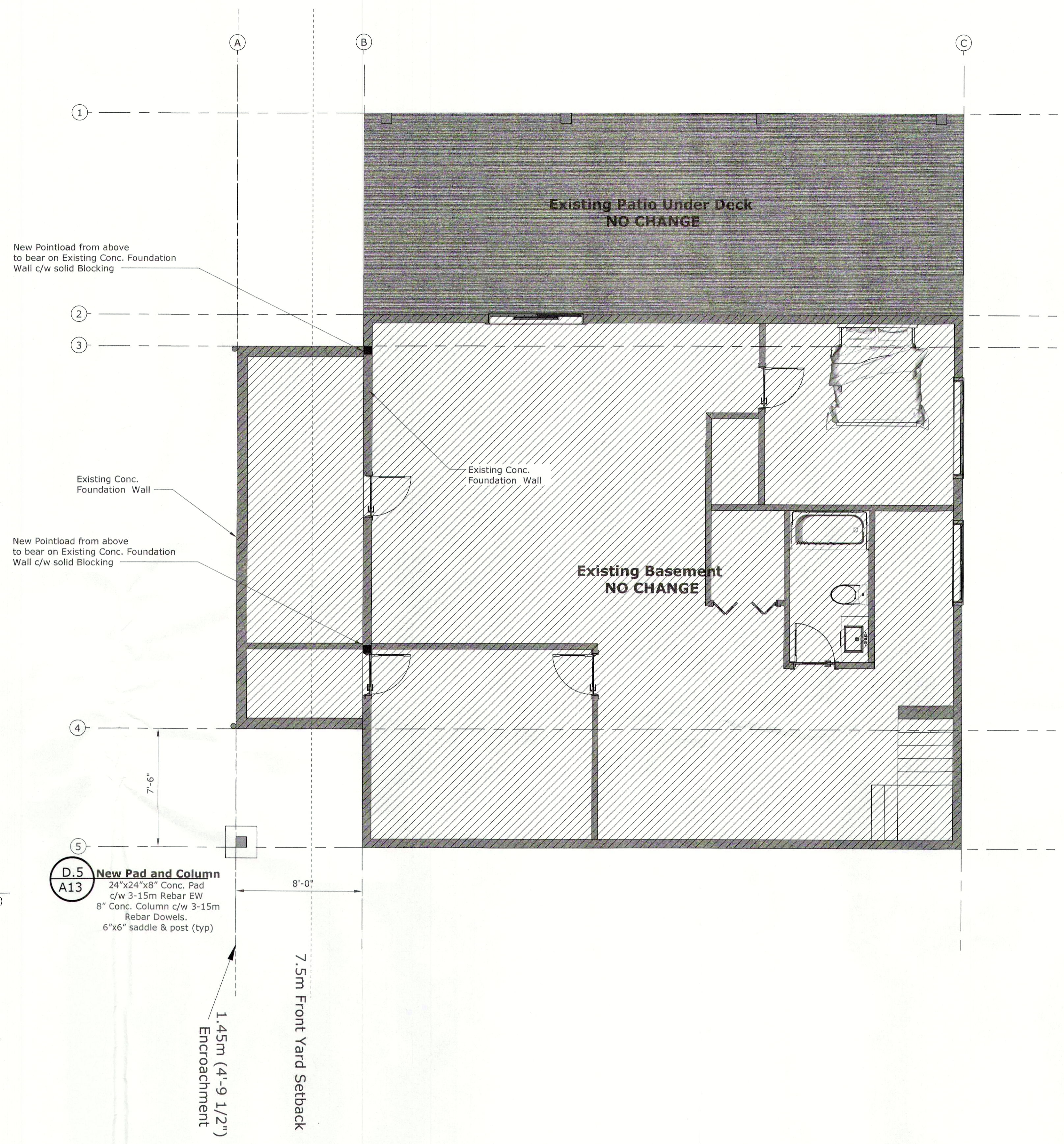
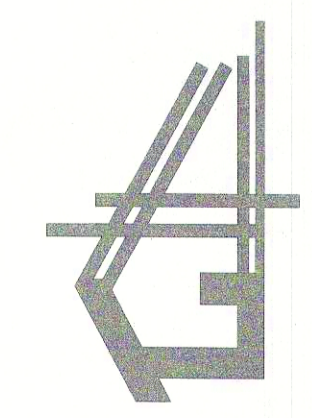
**Note:**  
Window style and opening location to be confirmed with Owner prior to ordering and construction.  
All load bearing wall openings as per Structural Eng. Drawings.  
Interconnected smoke alarms, carbon monoxide detectors to be installed as per BCBC.  
PV and SDHW conduits as per NRCAN Solar Readiness Guidelines.  
Min 1.5 spm exhaust fan to be installed in all bedrooms as per BCBC.  
All exterior wall penetration to be flashed with end dams as per BCBC.  
These plans do not show all details of the requirements of the current BCBC and have not been reviewed for full compliance.  
It is the responsibility of the Owner/Contractor to ensure all Codes and Bylaws of the jurisdiction having authority are followed.

**Note:**  
This Drawing Must Not Be Scaled.  
Verify All Dimensions and Datums  
Before construction Begins



**1A** Existing Foundation  
Scale: 1/8" : 1' (1:96)

Existing Encroachment  
1.45m (4'-9 1/2")



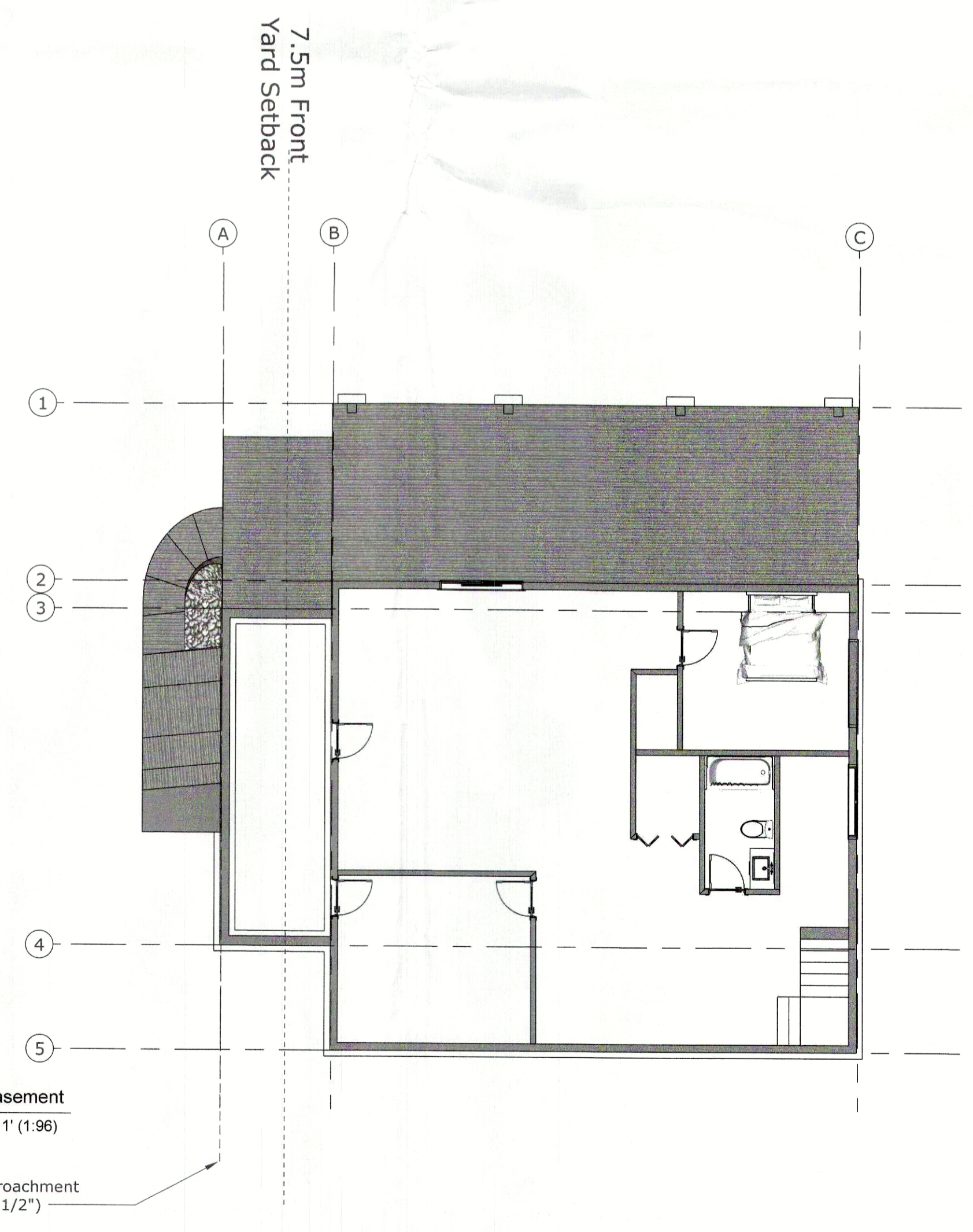
**2** Basement  
Scale: 1/4" = 1' (1:48)

**Floor Area**  
 MAINFLOOR: 114.6 sqm (1237.48 sqft)  
 STAIR WELL: +4.9 sqm (+53.44 sqft)  
 UNFINISHED SPACE: +17.9 sqm (+193 sqft)

**Note:**  
 0.8m (2'4") of Finished Grade  
 All Finished Grades To Slope Away from Building  
 All Footings To sit on Undisturbed Soil  
 All Back Fill Materials to be Approved and free from Sharp Edges

**Note:**  
 Window style and opening size location to be confirmed with Owner prior to ordering and construction.  
 All load bearing wall openings as per Structural Eng. Drawings.  
 Interconnected smoke alarms - carbon monoxide detectors to be installed as per BCBC.  
 PV and SREW consults as per MICAs Solar Readiness Guidelines.  
 Min 1.5 son exhaust fan to be installed in all bathrooms as per BCBC.  
 All exterior wall penetrations to be flashed with end dams as per BCBC.  
 These plans do not show all details of the requirements of the current BCBC and have not been reviewed for full compliance.  
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**Note:**  
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 Verify All Dimensions and Datums  
 Before construction Begins



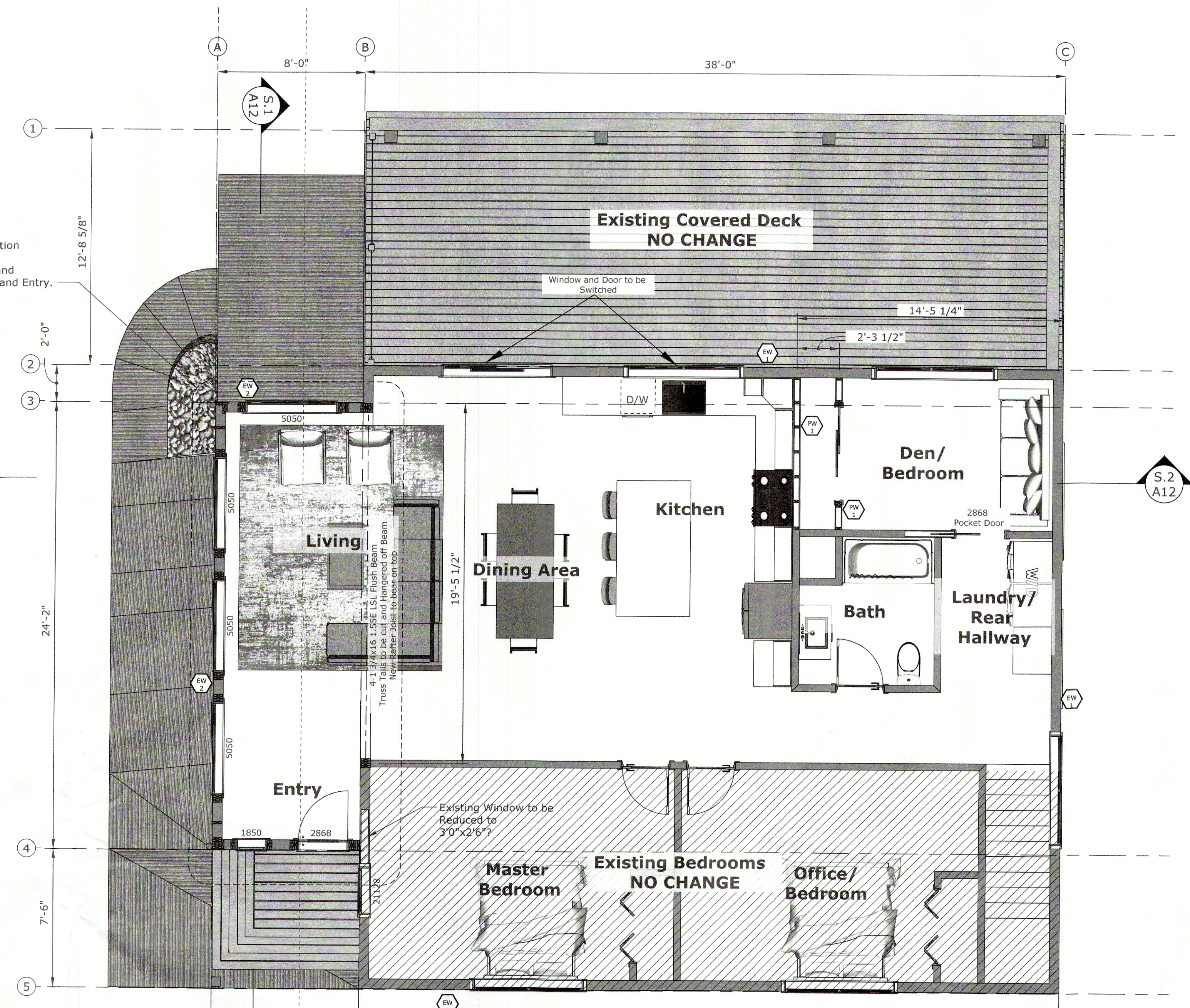
**2A** Existing Basement  
Scale: 1/8" = 1' (1:96)

Existing Encroachment  
1.45m (4'-9 1/2")

**Construction Notes**

- Bearing Wall**
- 2"x6" SPF #2 studs @ 16"o.c. EW 1
- Interior Bearing Wall**
- 1/2" Gypsum Board 2"x4" SPF #2 studs @ 16"o.c. EW 2
- 1/2" Gypsum Board EW 3
- 1/2" Gypsum Board 2"x6" SPF #2 Studs EW 4
- Sound Dampening Insulation @ 16" o.c. 1/2" Gypsum Board EW 5
- 1/2" Gypsum Board 2"x8" SPF #2 Studs EW 6
- Sound Dampening Insulation @ 16" o.c. 1/2" Gypsum Board EW 7
- Exterior Wall**
- EXISTING FRAMED WALL:**
- Stucco with Cementitious Finish, 2 layers of Building Wrap Shingle Lapped and Flashed at all penetrations EW 8
- 7/16" OSB Sheeting (Or Equivalent Sheeting)
- 2"x6" top and bottom plates
- C/w 2"x6" studs 16" o.c.
- Cavity Filled with R20 Batt
- 6 mil Vapour Barrier Continuous
- 1/2" Drywall Board (use water resistant board in wash rooms and showers)
- NEW FRAMED WALLS:**
- Stucco to Match Existing EW 9
- 2 layers of Building Wrap Shingle Lapped and Flashed at all penetrations
- 7/16" OSB Sheeting (Or Equivalent Sheeting)
- 2"x6" top and bottom plates
- C/w 2"x6" studs 16" o.c.
- Cavity Filled with R24 Batt
- 6 mil Vapour Barrier Continuous
- 1/2" Drywall Board (use water resistant board in wash rooms and showers)
- Partition Wall**
- 1/2" Gypsum Board 2"x4" SPF #2 Studs @ 16" o.c. 1/2" Gypsum Board PW 1
- 1/2" Gypsum Board 2"x6" SPF #2 Studs @ 16" o.c. 1/2" Gypsum Board PW 2
- 1/2" Gypsum Board 2"x6" SPF #2 Studs Sound Dampening Insulation @ 16" o.c. 1/2" Gypsum Board PW 3
- 1/2" Gypsum Board 2"x8" SPF #2 Studs Sound Dampening Insulation @ 16" o.c. 1/2" Gypsum Board PW 4
- Sub Framed Wall**
- 2"x4" SPF #2 Studs @ 16" o.c. 1/2" Gypsum Board SPW 1
- 2"x4" SPF #2 Studs Flatt @ 16" o.c. 1/2" Gypsum Board SPW 2

New Living Space Addition To be over Existing Unfinished Basement and Replace Existing Deck and Entry.



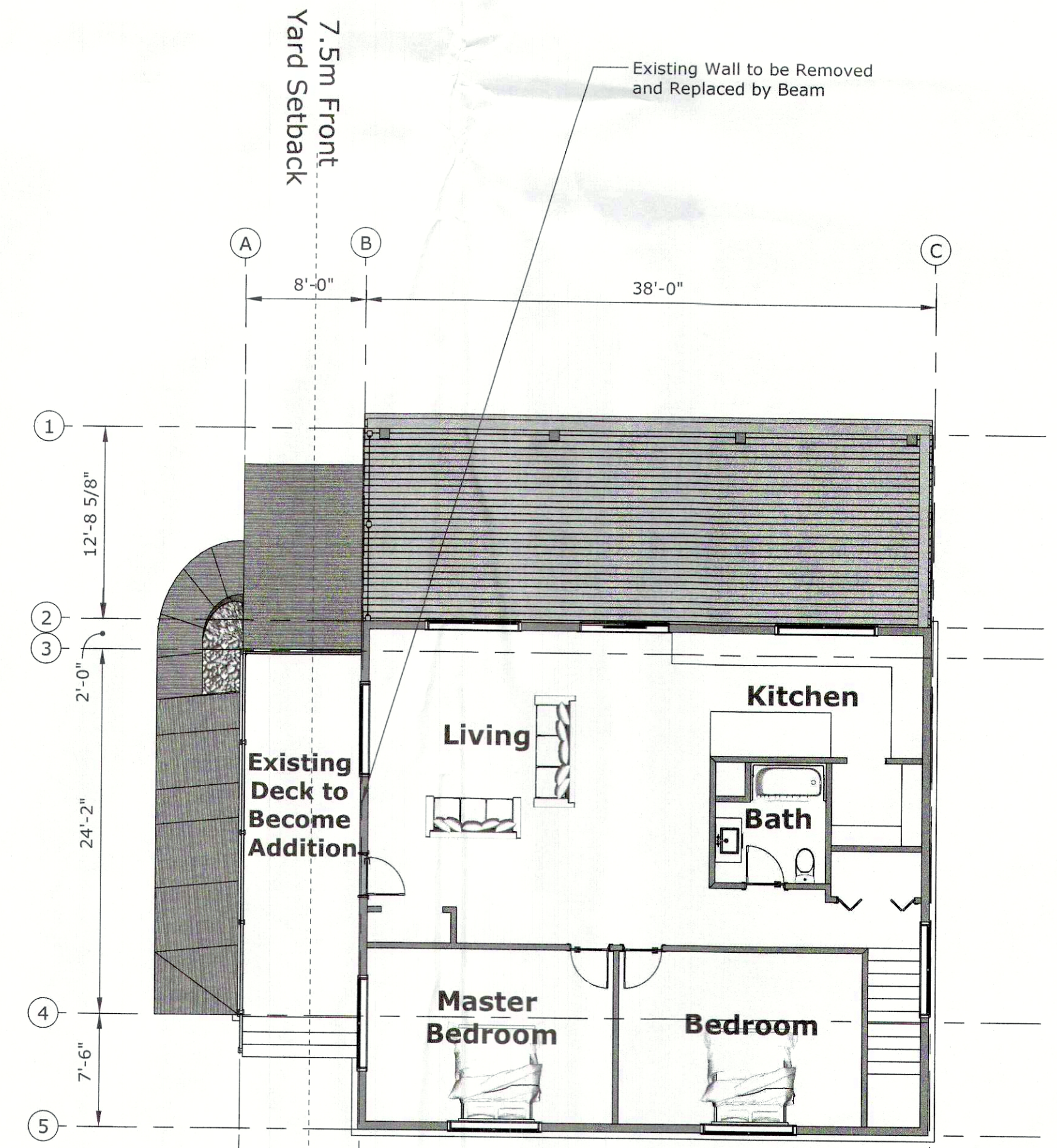
**3 Main Floor**  
Scale: 1/4" = 1' (1:48)

**Floor Area**  
MAINFLOOR: 114.6 sqm (1237.48 sqft)  
STAIR WELL: +4.9 sqm (+53.44 sqft)  
ADDITION: +17.9 sqm (+193 sqft)

**Note:**  
0.6m (24") of Finished Grade  
All Finished Grades To Slope Away from Building  
All Footings to sit on Undisturbed Soil  
All Back Fill Materials to be Approved and free from Sharp Edges

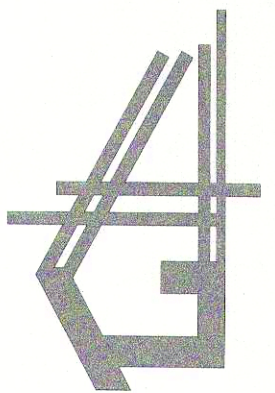
**Note:**  
Window style and opening size location to be confirmed with Owner prior to ordering and construction.  
All load bearing wall openings as per Structural Eng. Drawings.  
Interconnected smoke alarms - Carbon monoxide detectors to be installed as per BCBC.  
PV and SDHW conduits as per NRCan Solar Readiness Guidelines.  
No 1.5 m exhaust fans to be installed in all bathrooms as per BCBC.  
All exterior wall penetration to be flashed with end dams as per BCBC.  
These plans do not show all details of the requirements of the current BCBC and have not been reviewed for full compliance.  
It is the responsibility of the Owner/Contractor to ensure all Codes and Bylaws of the jurisdiction having authority are followed.

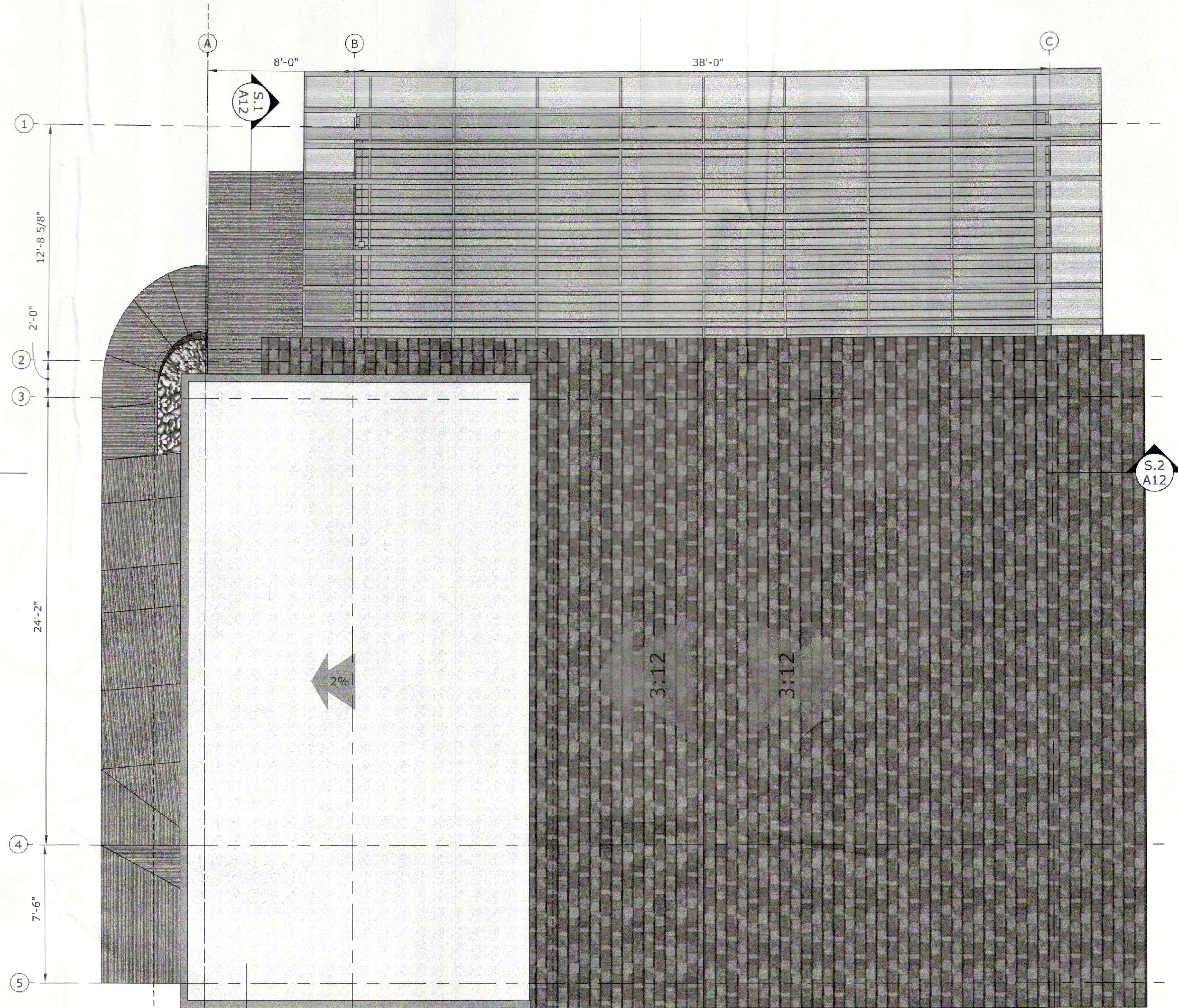
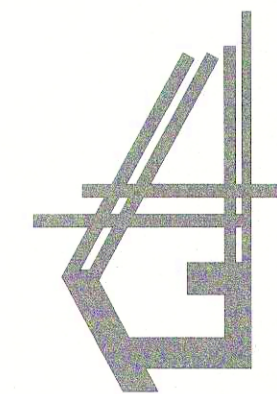
**Note:**  
This Drawing Must Not Be Scaled.  
Verify All Dimensions and Details Before construction Begins



**3A Existing Main Floor**  
Scale: 1/8" = 1' (1:96)

Existing Encroachment 1.45m (4'-9 1/2")

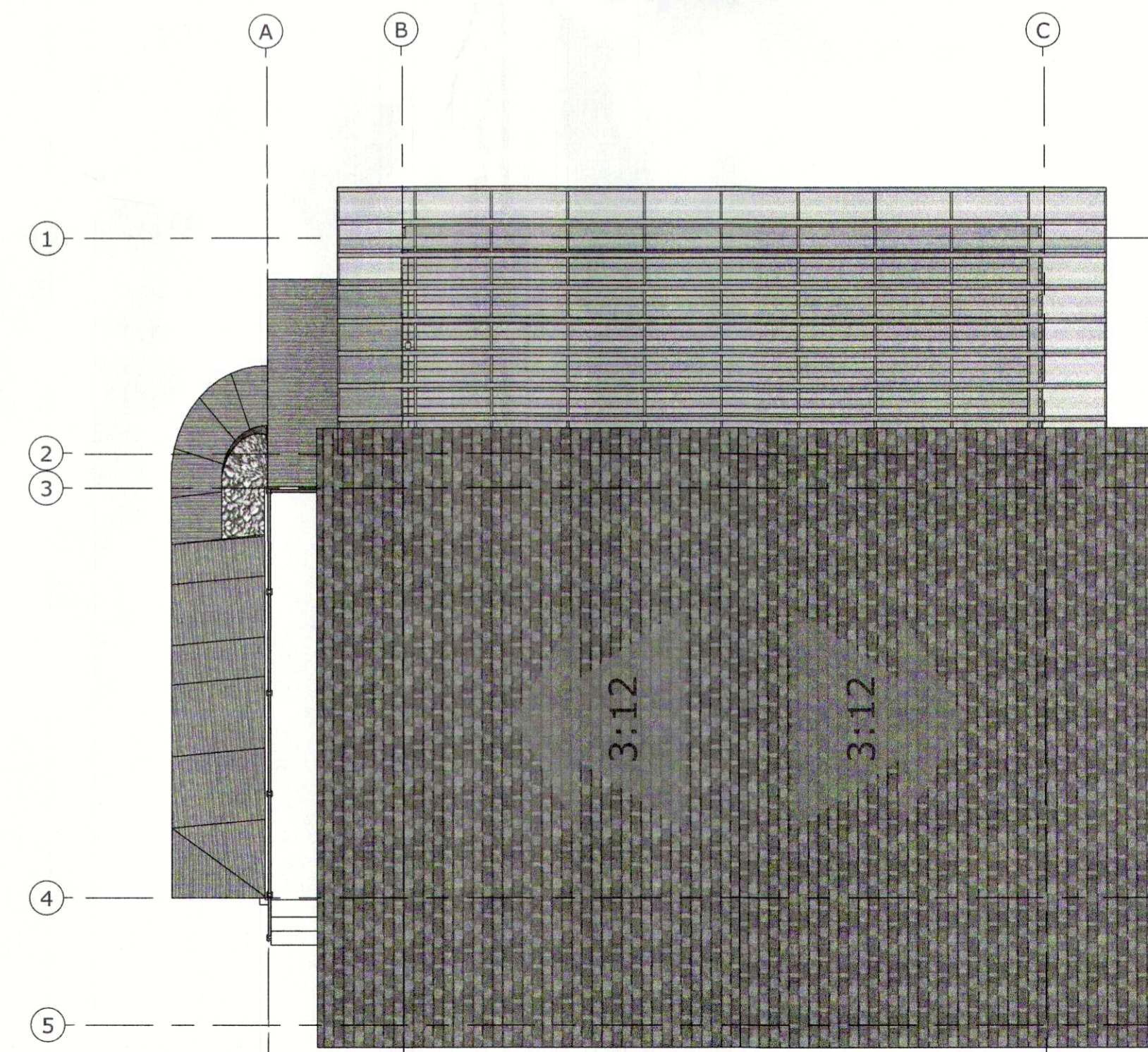




5 Roof Slopes  
Scale: 1/4" = 1' (1:48)

New Flat Roof  
c/w torch-on roofing membrane

1.45m (4'-9 1/2")  
Encroachment



5A Existing Roof Slopes  
Scale: 1/8" = 1' (1:96)

**Note:**  
0.6m (24") of Finished Grade  
All load bearing wall openings as per Structural Framing Drawings  
All Footings to sit on Undisturbed Soil  
All Back Fill Materials to be Approved and free from Sharp Edges

**Note:**  
Window style and opening size location to be confirmed with Owner prior to ordering and construction.  
All load bearing wall openings as per Structural Framing Drawings  
Interconnected smoke alarms carbon monoxide detectors to be installed as per BCBC  
PV and SCHWIMMULDUNG as per NEC and Solar Readiness Guidelines  
Min 1.5 sun exhaust fan to be installed in all bathrooms as per BCBC  
All exterior wall penetrations to be flashed with end dams as per BCBC  
These plans do not show all details of the requirements of the current BCBC and have not been reviewed for full compliance.  
It is the responsibility of the Owner/Contractor to ensure all Codes and Bylaws of the jurisdiction having authority are followed.

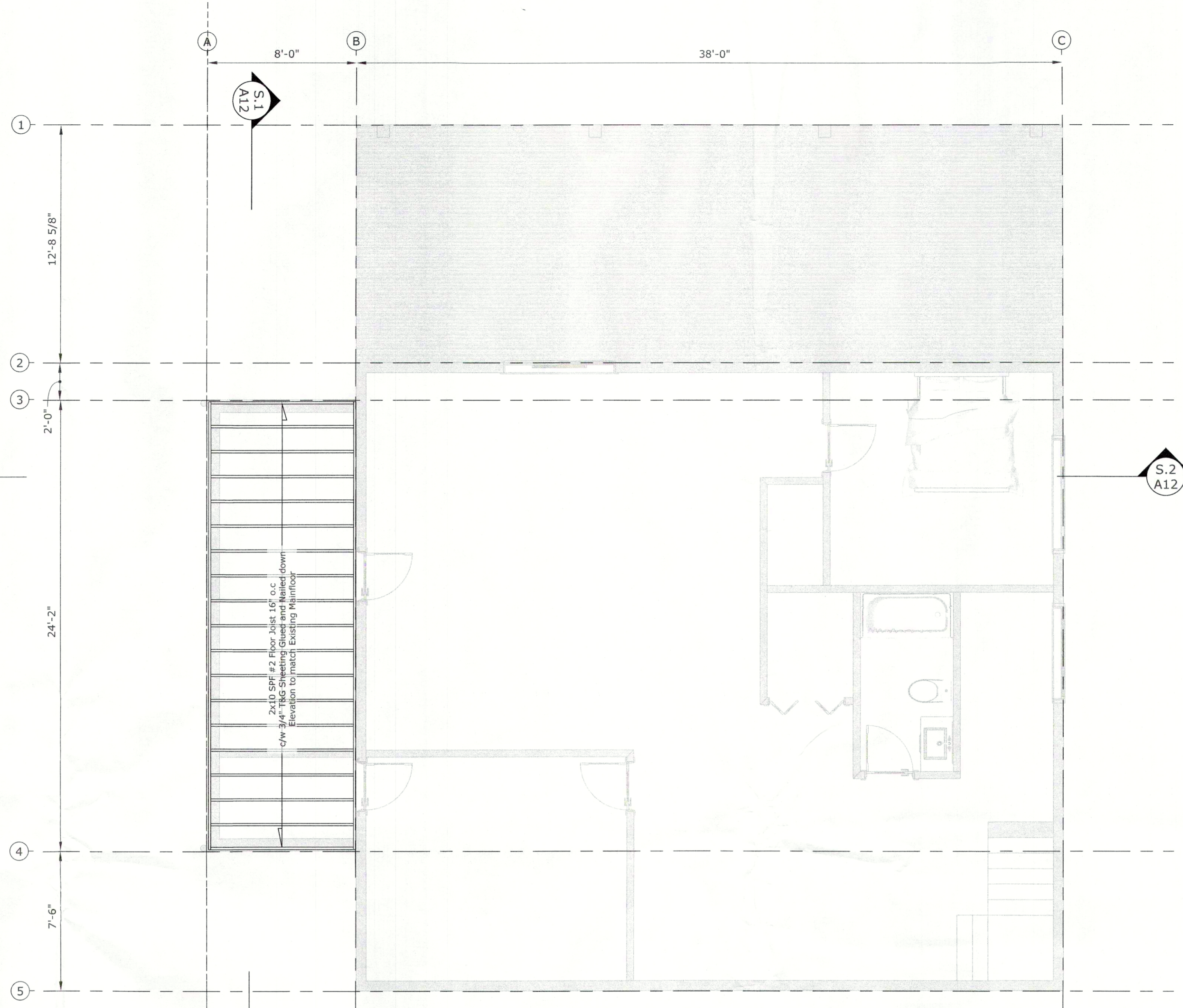
**Note:**  
This Drawing Must Not Be Scaled.  
Verify All Dimensions and Datums  
Before construction Begins

**Note:**  
 0.6m (24") of Finished Grade  
 All Finished Grades To Slope Away from Building  
 All Footings to sit on Undisturbed Soil  
 All Back Fill Materials to be Approved and Free from Sharp Edges

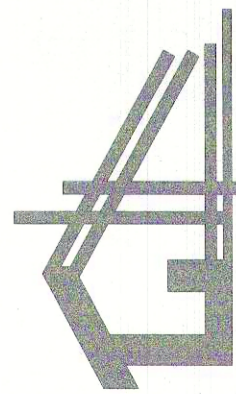
**Note:**  
 Window style and opening size location to be confirmed with Owner prior to ordering and construction.  
 All load bearing wall openings as per Structural Eng. Drawings.  
 Interconnected smoke alarms - carbon monoxide detectors to be installed as per BCBC.  
 TV and SDRV conduits as per BCBC Solar Readiness Guidelines.  
 Min 1.5 son exhaust fan to be installed in all bathrooms as per BCBC.  
 All exterior wall penetration to be finished with end dams as per BCBC.  
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**Note:**  
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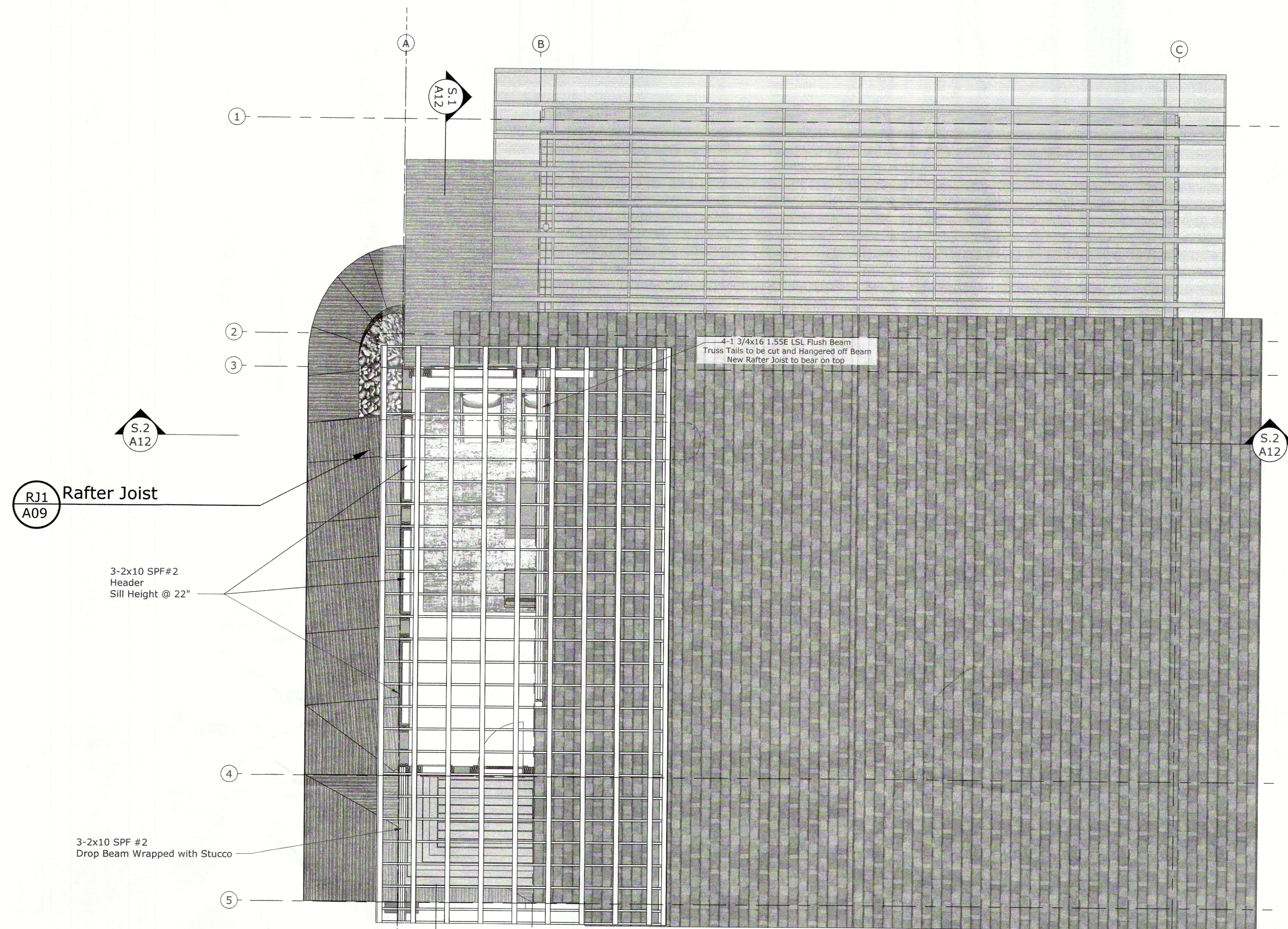
**4** Floor Joist  
 Scale: 3/16" = 1' (1/64)



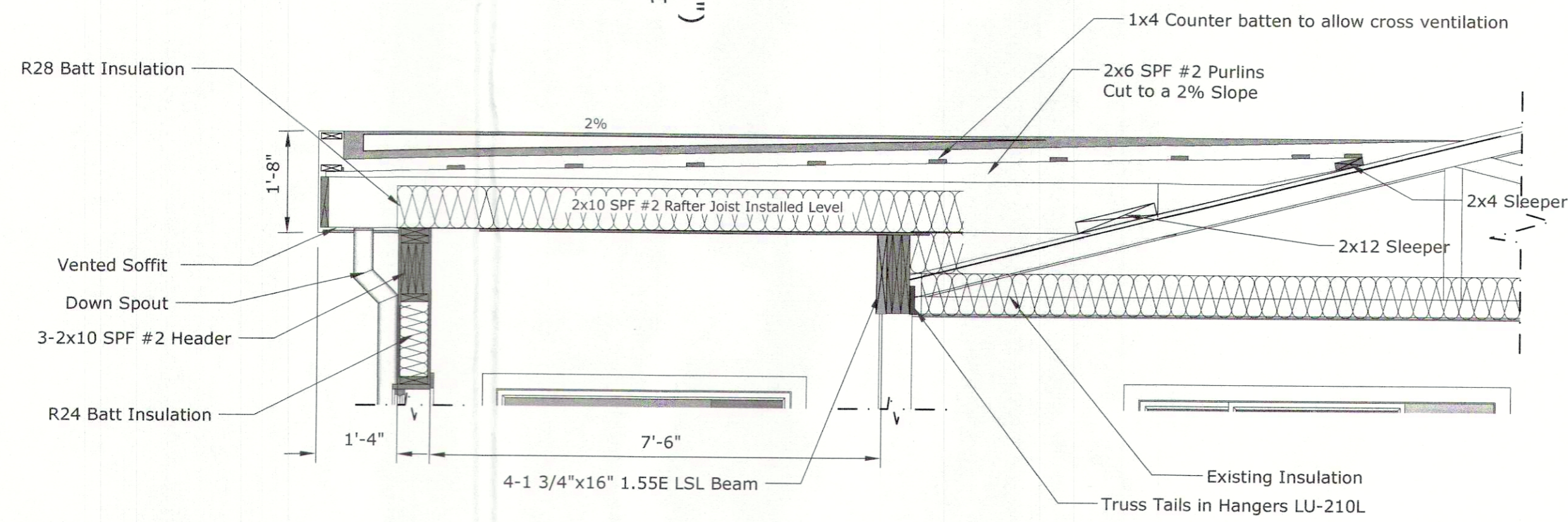
1.45m (4'-9 1/2")  
 Encroachment



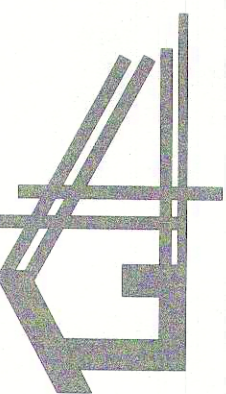




5 Rafter Joist Layout  
Scale: 1/4" : 1' (1:48)

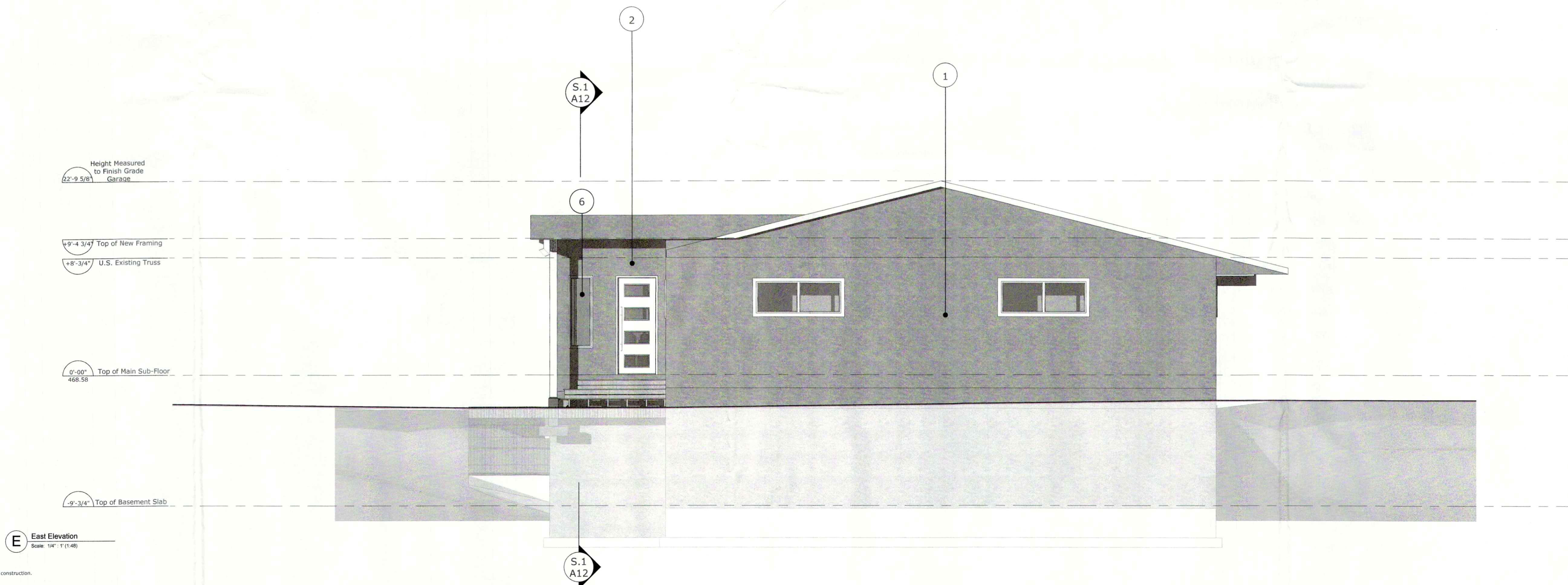
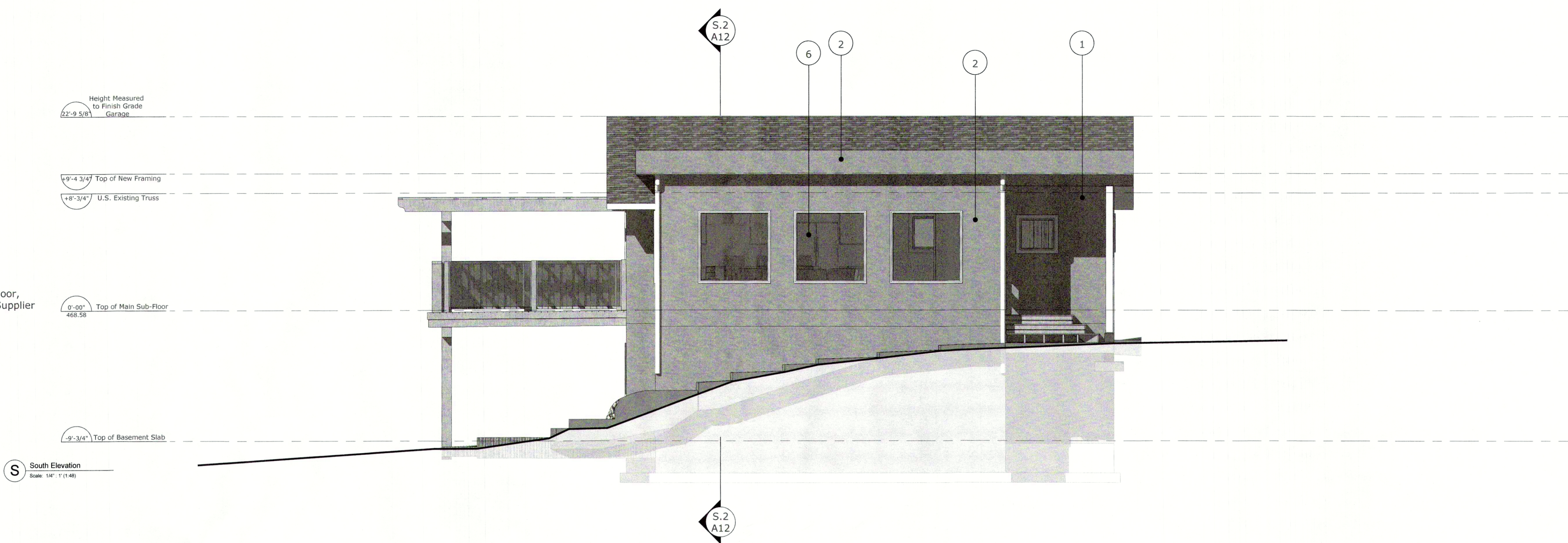


RJ 1 Rafter Joist (RJ1)  
Scale: 1/2" : 1' (1:24)



**EXTERIOR FINISH KEY**

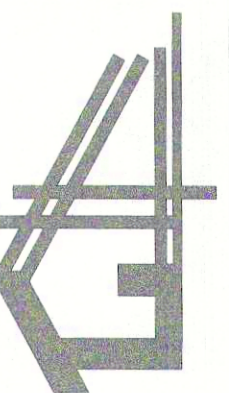
- 1 Existing Stucco
- 2 New Stucco To Match Existing
- 3 Architectural Concrete
- 4 Pre-finished Composite Wood Facia
- 5 Pre-finished Metal Flashing with Extended Drip Edge
- 6 Low-E Double Glazed Window/Door, NAFS Certified, Documents By Supplier
- 7 Asphalt Shingles
- 8 Torch-on Roofing Membrane



**Note:**  
 0.6m (24") of Finished Grade  
 All Finished Grades To Slope Away from Building  
 All Footings to sit on Undisturbed Soil  
 All Back Fill Materials to be Approved and free from Sharp Edges

**Note:**  
 Window style and opening location to be confirmed with Owner prior to ordering and construction.  
 All load bearing wall openings as per Structural Eng. Drawings.  
 Interconnected smoke alarms carbon monoxide detectors to be installed as per BCBC.  
 PV and SDHW conduits as per NCEC Solar Readiness Guidelines.  
 Min 1.5 son exhaust fan to be installed in all bathrooms as per BCBC.  
 All exterior wall penetration to be flashed with end dams as per BCBC.  
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 Before construction begins.



**EXTERIOR FINISH KEY**

- 1 Existing Stucco
- 2 New Stucco To Match Existing
- 3 Architectural Concrete
- 4 Pre-finished Composite Wood Facia
- 5 Pre-finished Metal Flashing with Extended Drip Edge
- 6 Low-E Double Glazed Window/Door, NAFS Certified, Documents By Supplier
- 7 Asphalt Shingles
- 8 Torch-on Roofing Membrane

Height Measured to Finish Grade Garage  
22'-9 5/8"

+9'-4 3/4" Top of New Framing  
+8'-3/4" U.S. Existing Truss

0'-00" Top of Main Sub-Floor  
468.58

-9'-3/4" Top of Basement Slab

**W** West Elevation  
Scale: 1/4" = 1' (1:48)

S.2  
A10

S.2  
A10

Height Measured to Finish Grade Garage  
22'-9 5/8"

+9'-4 3/4" Top of New Framing  
+8'-3/4" U.S. Existing Truss

0'-00" Top of Main Sub-Floor  
468.58

-9'-3/4" Top of Basement Slab

**N** North Elevation  
Scale: 1/4" = 1' (1:48)

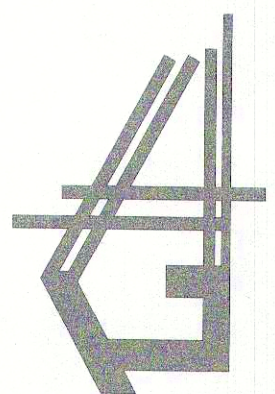
S.1  
A12

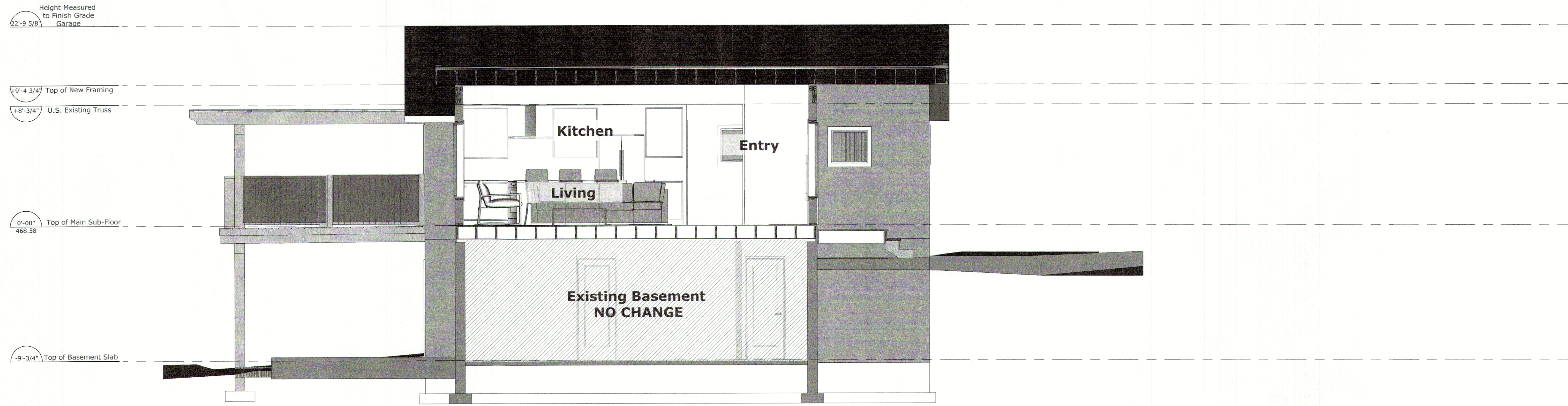
S.1  
A12

**Note:**  
0.6m (24") of Finished Grade  
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All Footings to sit on Undisturbed Soil  
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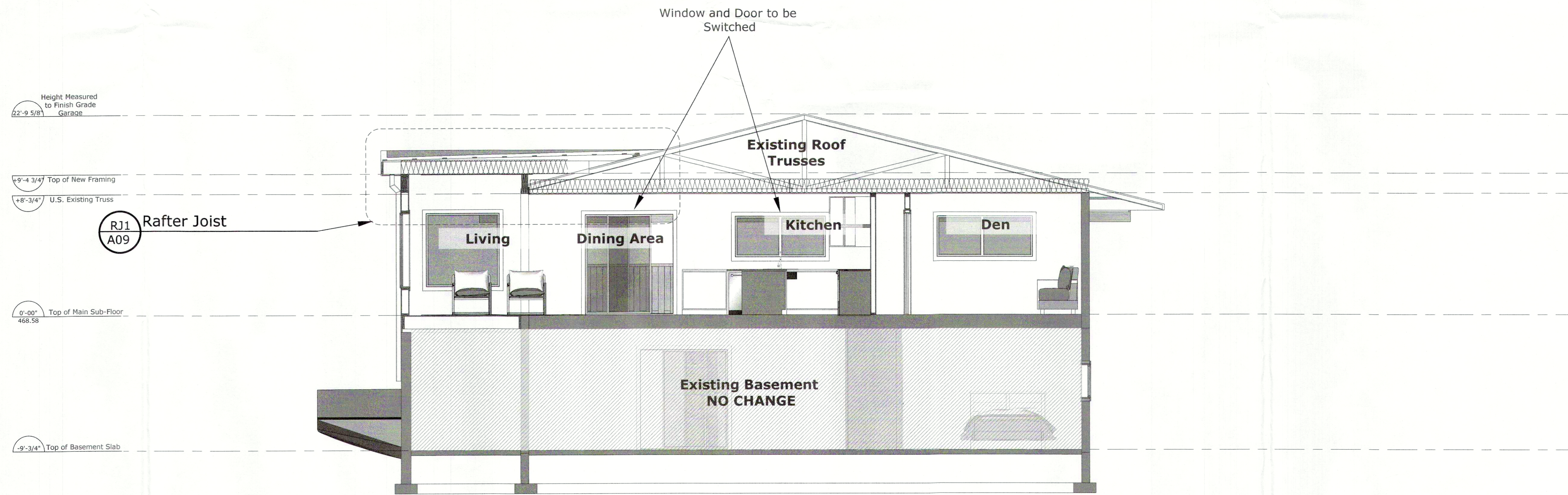
**Note:**  
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All load bearing wall openings as per Structural Eng. Drawings.  
Interconnected smoke alarms carbon monoxide detectors to be installed as per BCBC.  
PV and SHWV consult as per NCEC Solar Readiness Guidelines.  
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S.1 South Section  
Scale: 1/4" = 1' (1:48)

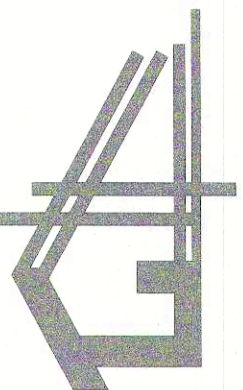


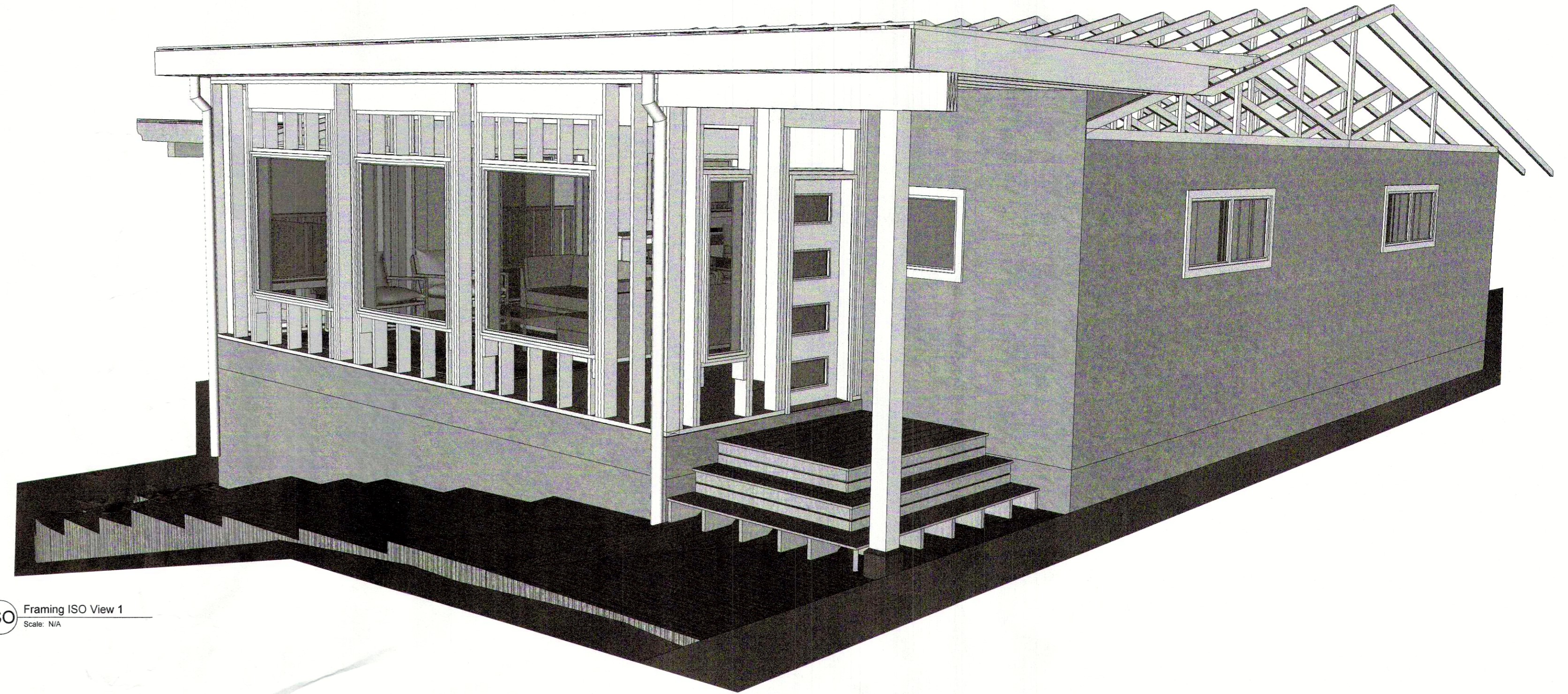
S.2 East Section  
Scale: 1/4" = 1' (1:48)

**Note:**  
 6 in (2 1/2) of Finished Grade  
 All Finished Grades To Slope Away from Building  
 All Footings to sit on Undisturbed Soil  
 All Back Fill Materials to be Approved and free from Sharp Edges

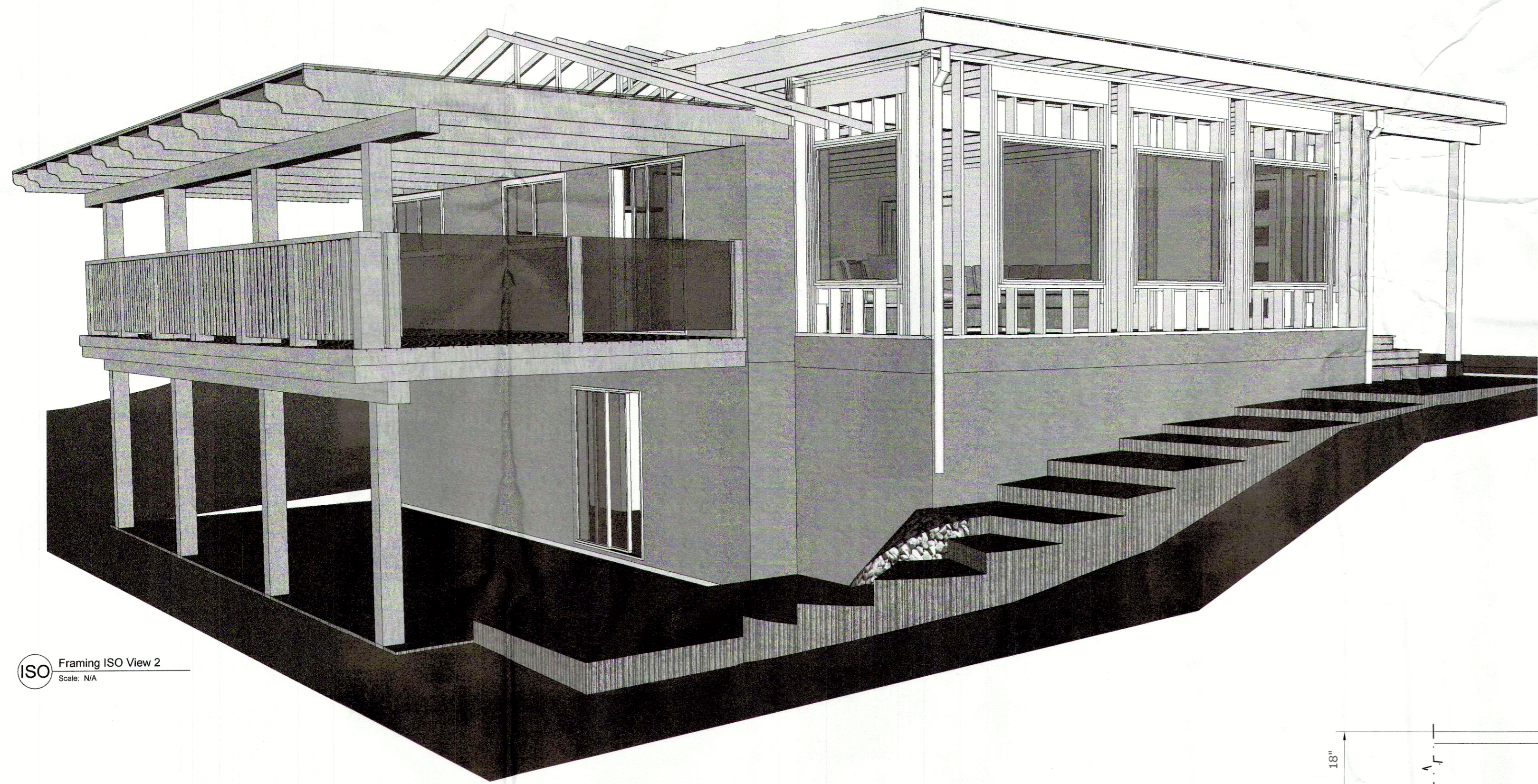
**Note:**  
 Window style and opening location to be confirmed with Owner prior to ordering and construction.  
 All load bearing wall openings as per Structural Eng. Drawings.  
 Interconnected smoke alarms carbon monoxide detectors to be installed as per BCBC.  
 PV and SWTH comply as per MICR Solar Readiness Guidelines.  
 Min 1.5 son exhaust fan to be installed in all bathrooms as per BCBC.  
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ISO Framing ISO View 1  
Scale: N/A

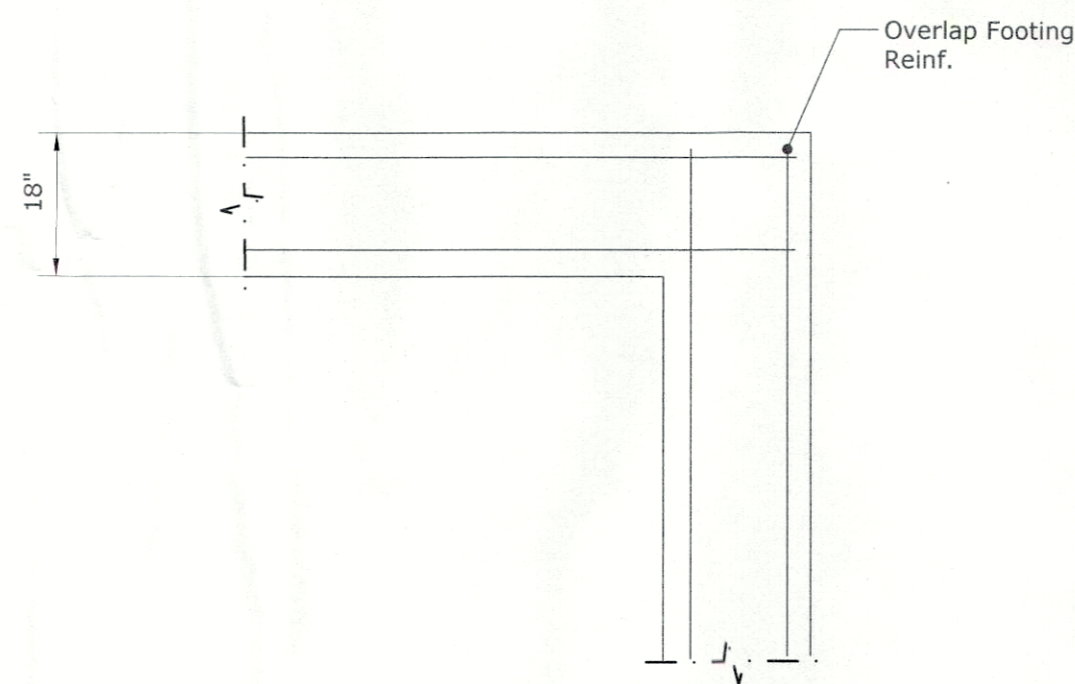


ISO Framing ISO View 2  
Scale: N/A

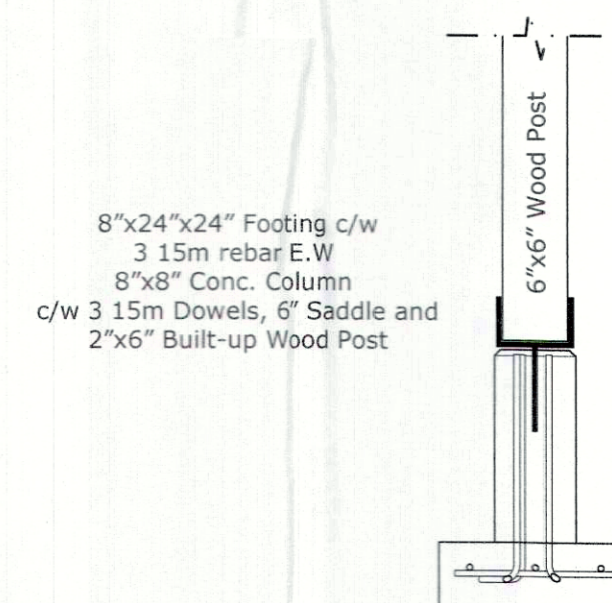
**Note:**  
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 Before construction Begins



D.4 TYP. Corner Detail Footing  
A13 Scale: N/A



D.5 TYP. Conc. Column and Footing  
A13 Scale: 1/2" : 1' (1:24)

