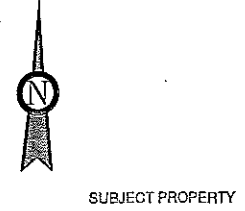
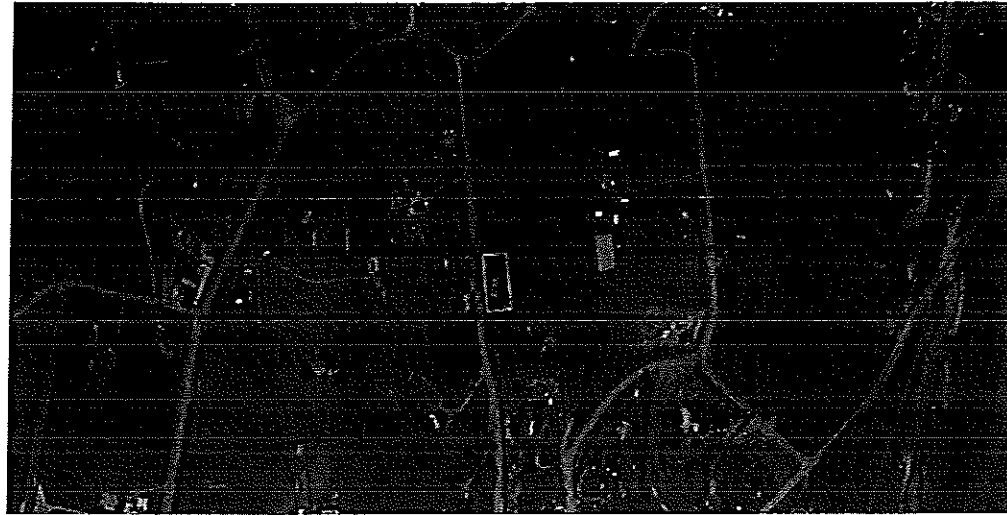


**NEW STUDIO OVER GARAGE
(PHASE 2)
2870 GAMMON ROAD
NARAMATA, BC**



KEY PLAN
NOT TO SCALE

DRAWING LEGEND	
A0.0	SITE/KEY PLAN AND CALCS.
A1.0	FOUNDATION/MAIN FLOOR PLANS
A1.1	SECOND FLOOR/ROOF PLANS
A2.0	BUILDING ELEVATIONS
A3.0	BUILDING SECTION A
A3.1	BUILDING SECTION B

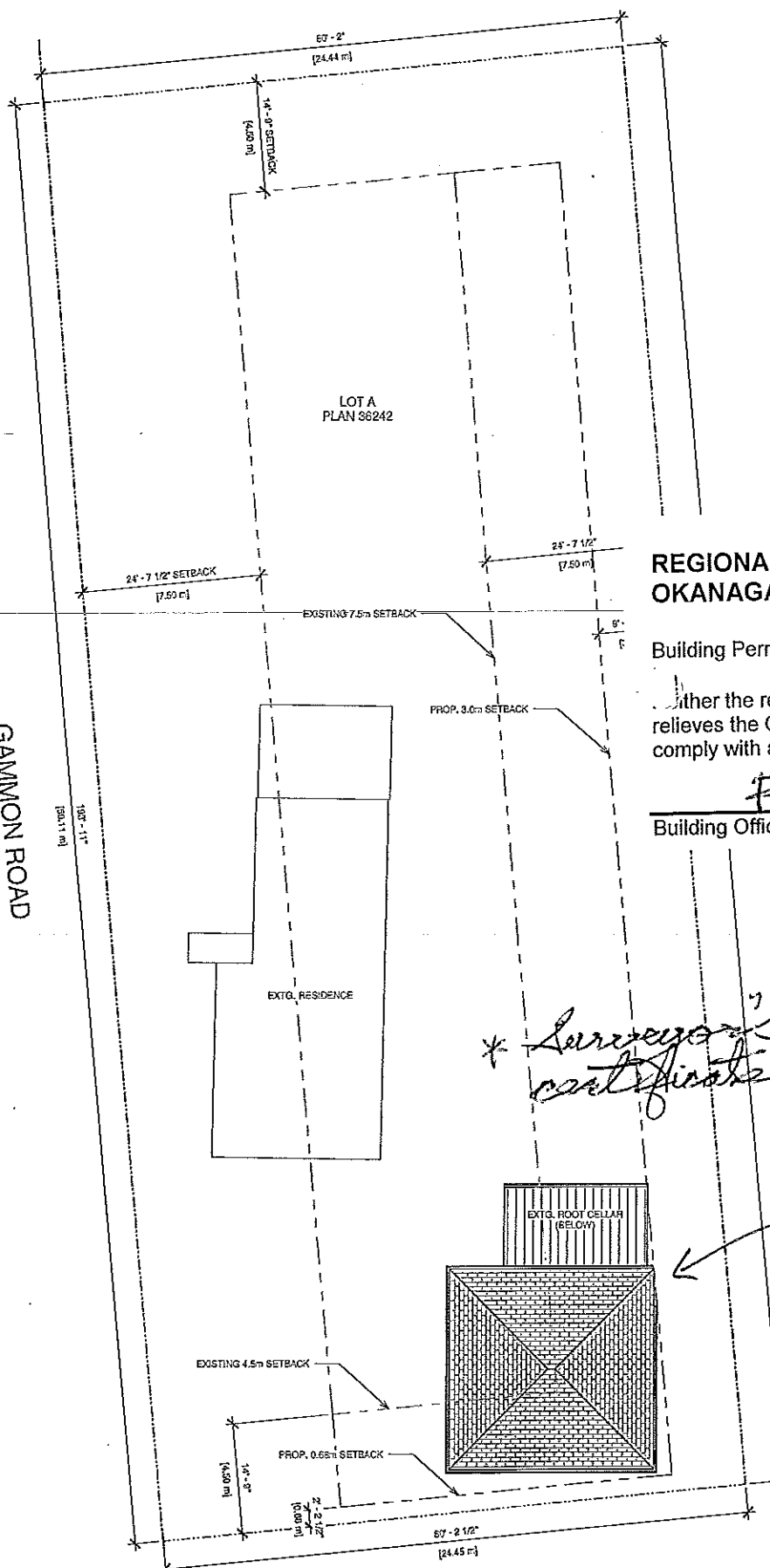
LOT INFORMATION	
CIVIC ADDRESS:	2870 GAMMON ROAD, NARAMATA, BC
LEGAL:	LOT A, PLAN KAP36242, DL 207, SDYD
ZONING:	AG1
SETBACKS:	FROM VARIANCE
FRONT -	7.5m
SOUTH SIDE -	0.68m
NORTH SIDE -	4.5m
REAR -	3.0m

SITE/BUILDING CALCULATIONS	
LOT AREA:	1,445m ² [15,551ft ²]
BUILDING FOOTPRINT:	55.7m ² [600ft ²]
'EXISTING' GARAGE FL AREA:	55.7m ² [600ft ²]
STUDIO FL AREA:	60.3m ² [650ft ²]
TOTAL:	116m ² [1,250ft ²]
BUILDING HEIGHT:	6.5m (10m MAX.)
UTILITIES:	EXISTING MUNICIPAL WATER SERVICE ON-SITE EXISTING SEPTIC FIELD ON-SITE STORM WATER RETAINED ON-SITE

CONSTRUCTION NOTES			
WALL FRAMING NOTES: -ALL FRAMING TO CONFORM TO CURRENT BCBC & NBC -ALL WALL STUDS TO BE S.P.F. 12, 14 & 2 -HEADERS OVER DOORS AND WINDOWS TO BE 2" x 10", U.N.O. -FLASH ALL WINDOWS AND EXTERIOR OPENINGS	CONCRETE NOTES: -CONCRETE STRENGTH TO BE 3000 PSI @ 28 DAYS -1" SLABS ON-GRADE: 25MPa M3L -4" SLABS ON-GRADE (EXPOSED GARAGE): 32MPa M3L -2" SLABS ON-GRADE: 32MPa M3L -3" SUSPENDED SLAB: 32MPa M3L -3" FOUNDATION/RETAINING WALLS: 25MPa M3L -STAIRS: 32MPa M3L	ROOFING & VENTILATION NOTES: -SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR ALL ENGINEERED ROOF TRUSSES -4:50 MIN. ATTO VENTING RATIO -ROOF SHEATHING TO BE 7/16" OSB NAILED TO TRUSSES -ROOF SHEATHING TO BE INSTALLED WITH SURFACE GRAIN @ RIGHT ANGLES TO THE TRUSSES & STAGGERED JOINTS -FASTEN PANELS WITH 2W" COMMON NAILS @ 6" o.c. ALONG PANEL EDGES AND @ 12" o.c. ALONG INTERMEDIATE SUPPORTS -NATURAL & MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION 9.32 OF CURRENT BCBC -PRINCIPLE VENTILATION EXHAUST FAN SHALL BE CONTROLLED BY AN ADJUSTABLE TIME CONTROL DEVICE SET TO PROVIDE A MIN. OF TWO 4 HOUR OPERATING PERIODS PER DAY OR BE DESIGNED TO RUN CONTINUOUSLY	VENTILATION NOTES: -EACH BATHROOM TO BE FITTED WITH 2 STAGE BATHROOM FAN -VENTILATION SWITCH TO BE LOCATED IN MECHANICAL ROOM -FURNACE FAN TO RUN CONTINUOUSLY -INSTALL DUCTING DROPS IN GARAGE AS REQUIRED
FLOOR SYSTEM NOTES: -SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR ALL ENGINEERED FLOOR JOISTS -ALL FLOOR JOISTS TO BE T.I.L. OR OPEN JOISTS -4" TONGUE & GROOVE PLYWOOD DECKING, GLUE & NAILED TO FLOOR JOISTS -INSTALL PLY. SUBFLOOR WITH SURFACE GRAIN AT RIGHT ANGLES TO THE JOISTS; STAGGER JOINTS PARALLEL TO FLOOR JOISTS -FASTEN PLYWOOD PANELS WITH 2W" COMMON NAILS @ 6" o.c. ALONG PANEL EDGES AND @ 12" o.c. ALONG INTERMEDIATE SUPPORTS -JOISTS TO BE DOUBLED UNDER PARTITIONS WHEN PARTITIONS ARE RUNNING PARALLEL TO JOISTS	STRIP FOOTING NOTES: -MIN. FOOTINGS TO BE 18" x 36" ON COMPACT, UNFROZEN, UNDISTURBED NATIVE SOIL, ROCK, OR COMPACTED CLEAN GRANULAR FILL -MIN. 2-15M CONT. BARS, U.N.O. -24" MIN. FROST COVER, U.N.O. -MAX. FOOTING STEP OF 2" VERTICAL & 2" HORIZONTAL		

Sept 14/16
Approved Site Plan

GAMMON ROAD



** Surveyor's location certificate used.*

No construction allowed within 3.04m setback

General Notes:
-The following plans have been designed as per Part 9 of the 2012 BCBC and not been reviewed/designed by an Ecora engineer
-All work to conform to current BCBC requirements
-Do not scale drawings
-Contractor to review all drawings and report any discrepancies and errors to designer prior to construction
-All work to conform to accepted industry standards. Any unacceptable work to be repaired to agreed upon standard
-Owner/builder to ensure all required Insurances and Work Safe BC conformance are in place prior to commencement of construction
-All dimensions to be confirmed on-site
-All dimensions to wall centerlines or exterior sheathing

GENERAL NOTES

**REGIONAL DISTRICT
OKANAGAN-SIMILKAMEEN**

Building Permit No. 19999

After the review of these plans, nor the issuance of this Permit relieves the Owner or designated persons of their responsibility to comply with all regulations.

B. Chester
Building Official

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	SEP 14, 2016

Ecora
543 Ellis Street
Penticton, BC, V2A 4T4
250-492-2927
www.ecora.ca

NICK GAMMER

STUDIO OVER GARAGE
2870 GAMMON RD.,
NARAMATA, BC

SITE/KEY PLAN

SCALE: 1" = 10' 0"

DATE: SEPTEMBER 14, 2016

DRAWN BY: KJ

CHECKED BY: KJ

DATE: 9E 13 24/ CAM

PROJECT NO: A0.0
SHEET: 1 of 6
PAGE: 2

Noted: Review of this drawing and all other drawings for consistency. All dimensions are shown in feet and inches. All dimensions are to the centerline of the wall or to the face of the wall as noted. All dimensions are to be confirmed on-site.

GENERAL NOTES

- The following plans have been designed as per Part 9 of the 2012 BCBC and not been reviewed/signed by an Ecora engineer
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- All dimensions to be confirmed on-site
- All dimensions to wall centerlines or exterior sheathing

FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION
1		FOR BUILDING PERMIT
2		
3		
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29		
30		

PREPARED BY:
Ecora
543 Ellis Street
Pensacola, FL 32504-1314
850-492-3397
www.ecora.ca

DESIGNED BY:
NICK GAMMER

PROJECT NO.:
STUDIO OVER GARAGE
2870 GAMMON RD.,
NARAMATA, BC

ISSUED BY:
FOUNDATION/MAIN FLOOR PLANS

SCALE:
1/4" = 1'-0"

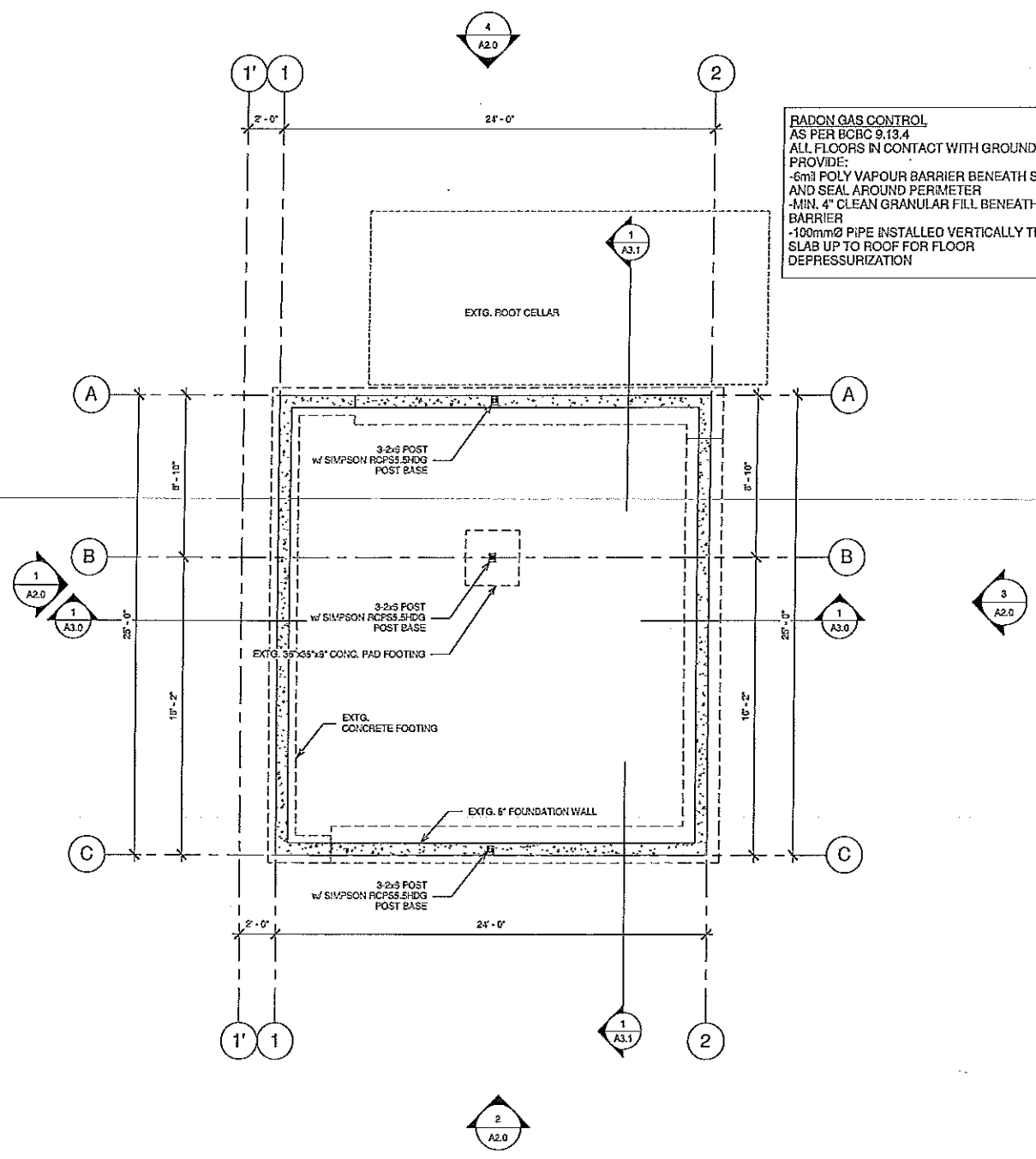
DATE:
SEPTEMBER 14, 2016

DESIGNER:
KC

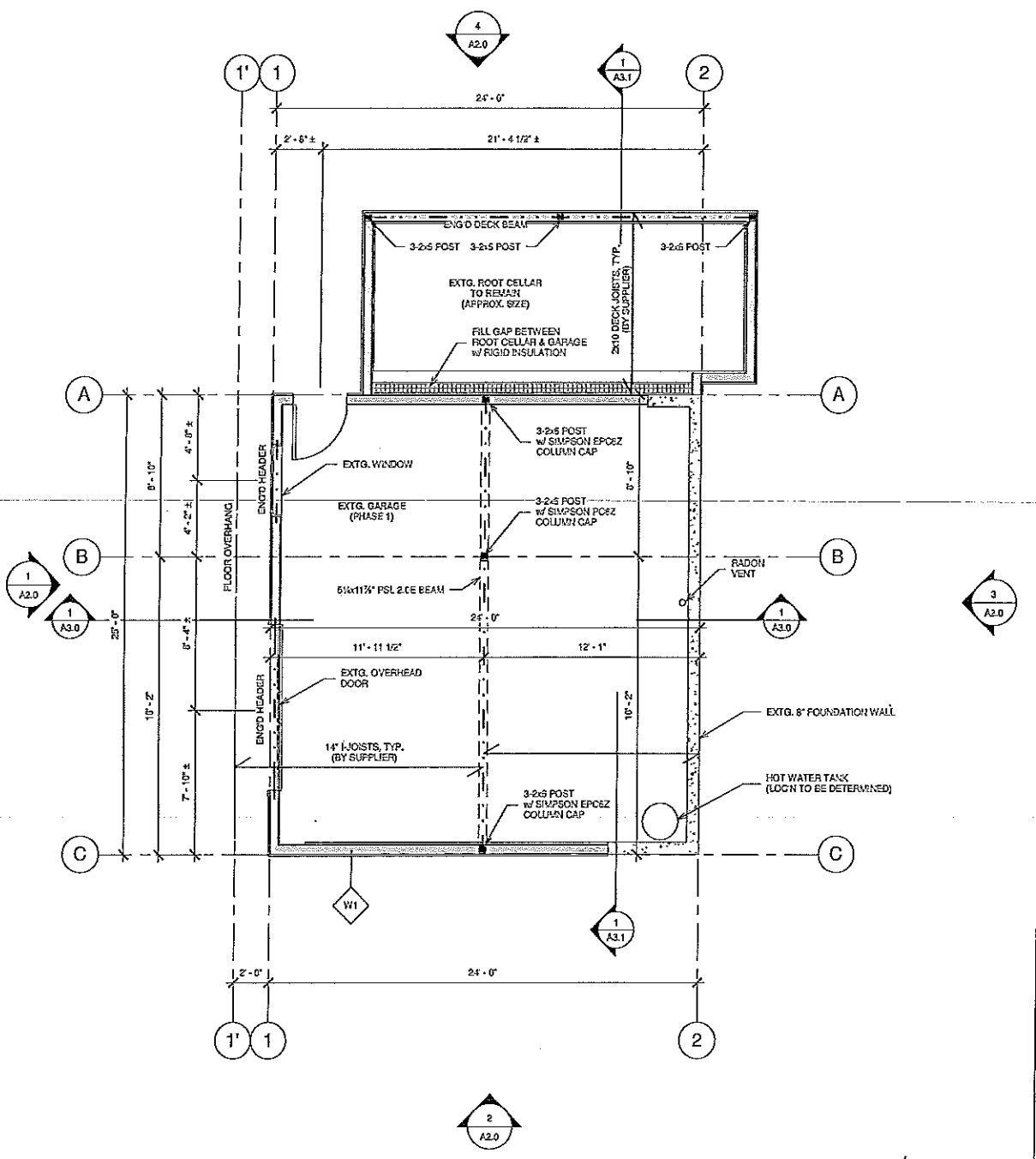
CHECKER:
KC

DATE:
SEP 13 24/ CAM

PROJECT NO.:
A1.0
2 of 8 SHEETS
2



RADON GAS CONTROL
AS PER BCBC 9.13.4
ALL FLOORS IN CONTACT WITH GROUND SHALL PROVIDE:
-6MIL POLY VAPOUR BARRIER BENEATH SLAB AND SEAL AROUND PERIMETER
-MIN. 4" CLEAN GRANULAR FILL BENEATH BARRIER
-100mmØ PIPE INSTALLED VERTICALLY THRU SLAB UP TO ROOF FOR FLOOR DEPRESSURIZATION



SEP 14/16

The uses of rooms and areas are approved as shown on this floor plan. Any changes of use requires RDOS approval.

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GENERAL NOTES

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- Owner/builder to ensure all required insurances and Work Safe BC compliance are in place prior to commencement of construction
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- All dimensions to wall centerlines or exterior sheathing

FOR BUILDING PERMIT

NO.	DATE	BY	REV AS PER ROOM COMMENTS FOR BUILDING PERMIT
1	11/11/16	KD	11/11/16

Ecora
 543 Ellis Street
 Penticton, BC, V2A 4S4
 250-498-2227
 www.ecora.ca

DESIGNER:
NICK GAMMER

PROJECT NAME:
STUDIO OVER GARAGE
 2870 GAMMON RD.,
 NARAMA, BC

DATE:
SECOND FL./ROOF PLANS

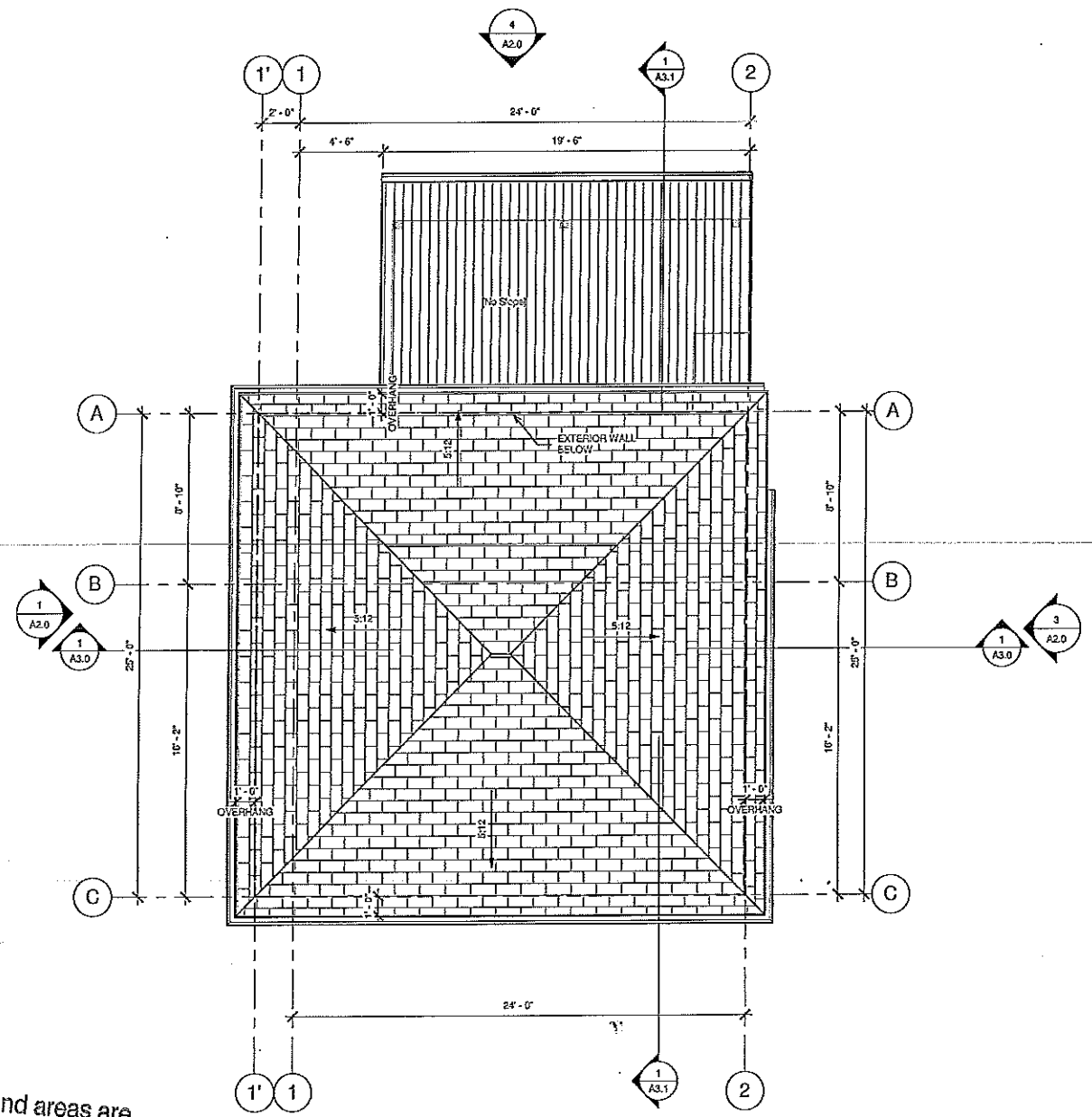
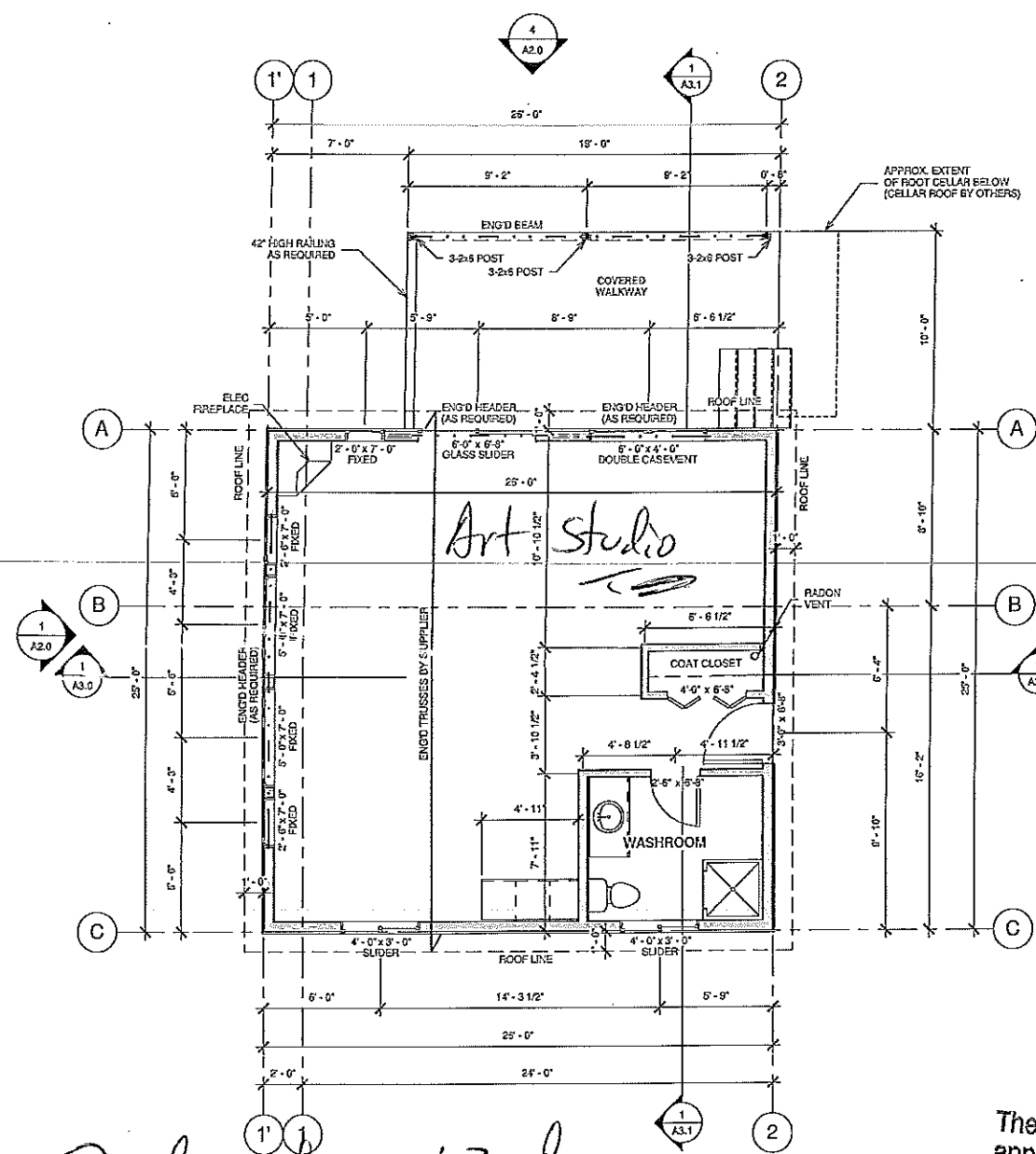
SCALE:
1/4" = 1' 0"

DATE:
SEPTEMBER 14, 2016

DESIGNER:
KD

DATE:
15 24/ GAM

PROJECT NO:
A1.1



* Dishwasher, Washer & Kitchen sink not permitted

The uses of rooms and areas are approved as shown on this floor plan. Any changes of use requires RDOS approval.

Sept 14/16

1 Second Floor Plan
 1/4" = 1'-0"

2 Roof Plan
 1/4" = 1'-0"

All joints in air barrier systems consisting of flexible sheet materials are to be lapped not less than 50 mm (2"), sealed and structurally supported. Air barriers below slabs must be lapped a minimum of 300 mm and sealed at all slab penetrations and perimeter walls with flexible sealant

Temperature rated poly hats required over all pot lights.

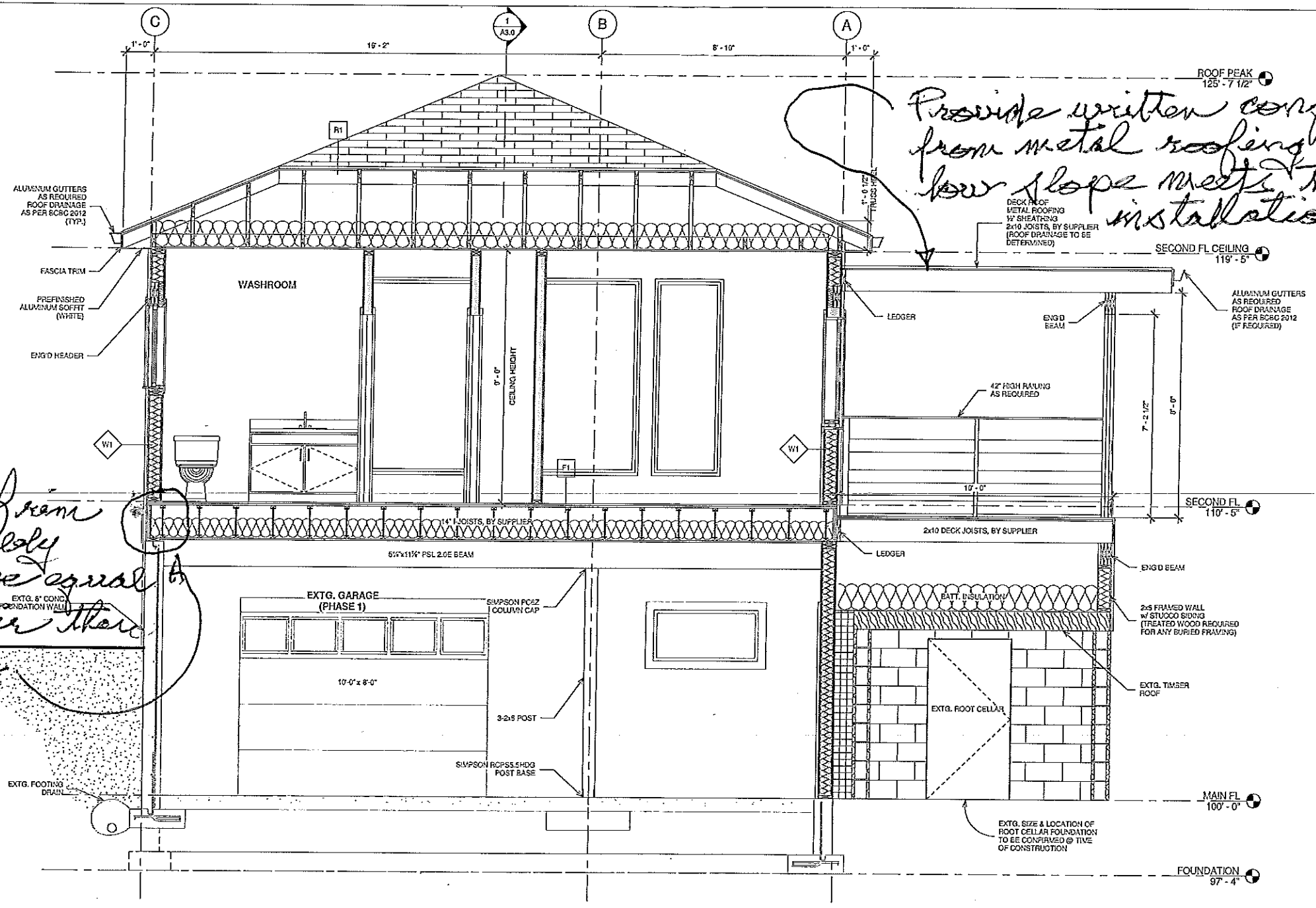
See Note 1. All dimensions are in feet and inches unless otherwise noted. All dimensions are to wall centerlines or exterior sheathing unless otherwise noted.

GENERAL NOTES

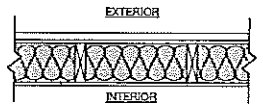
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- All dimensions to wall centerlines or exterior sheathing

Provide written confirmation from metal roofing mfr. that low slope meets their installation specs.

Rsi value of rain joint assembly req'd. to be equal to or greater than wall above



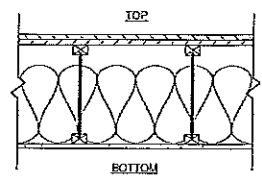
1 BUILDING SECTION B
1/2" = 1'-0"



W1

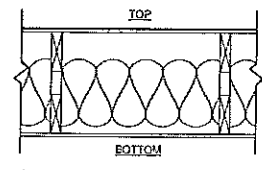
EXTERIOR WALL
STUCCO FINISH
2 LAYERS OF 30 MIL BUILDING PAPER
7/16" OSB SHEATHING
2x4 #1/2 STUDS @ 24" o.c.
MIN. R24 BATT. INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

MATERIAL	RSI	R
EXTERIOR AIR FILM	0.03	0.17
STUCCO FINISH	0.02	0.11
2 LAYERS OF 30 MIL BUILDING PAPER	0.00	0.00
7/16" OSB SHEATHING	0.11	0.62
2x4 #1/2 SPF STUDS @ 24" o.c. w/	2.80	15.59
MIN. R24 BATT. INSULATION	0.00	0.00
6 MIL POLY VAPOUR BARRIER	0.08	0.45
1/2" GYPSUM WALL BOARD	0.12	0.68
INTERIOR AIR FILM	0.13	0.68
EFFECTIVE RSI/R VALUE OF ASSEMBLY	3.16	17.93



F1

MAIN FLOOR
FINISHED FLOORING
(TO BE DETERMINED)
2x12 TAG OSB SUBFLOOR GLUED, SCREWED OR NAILED
14" JOISTS @ 16" o.c.
(TO BE CONFIRMED BY FLOOR SUPPLIER)
R32 BATT. INSULATION
1/2" G.W.B. CEILING



R1

ROOF ASSEMBLY
ASPHALT SHINGLE ROOFING
1/2" PLYWOOD SHEATHING
ENGINEERED ROOF TRUSSES @ 24" o.c.
(AS PER ROOF SUPPLIER)
R32 BATT. INSULATION MIN.
6 MIL POLY VAPOUR BARRIER
1/2" G.W.B. CEILING
VENTED SOFFITS @ EAVES

MATERIAL	RSI	R
EXTERIOR AIR FILM	0.03	0.17
ASPHALT SHINGLE ROOFING	0.00	0.00
EAVE PROTECTION AS PER BCBC	0.00	0.00
1/2" PLYWOOD SHEATHING	0.00	0.00
ENGINEERED ROOF TRUSSES	5.59	31.74
W/ R32 INSULATION	0.00	0.00
6 MIL POLY VAPOUR BARRIER	0.10	0.55
1/2" GYPSUM BOARD	0.11	0.68
INTERIOR AIR FILM	0.13	0.68
EFFECTIVE RSI/R VALUE OF ASSEMBLY	5.83	33.15
MIN. REQUIRED EFFECTIVE RSI/R VALUE	4.87	28.52

** R-50 req'd.*

Guard required if difference in elevation to adjacent surfaces is more than 24":

- Exterior guards - Minimum 42" high
- Exterior guards can be reduced to 36" high if walking surface is less than 6' above grade and the deck serves not more than one dwelling unit
- Guards within dwelling units - minimum 36"
- No horizontal members or openings located between 6 and 36 inches which would facilitate climbing
- Maximum 4" spacing of openings in guards

Min 3.67 req'd. See BCBC Table 9.36.2.6.A.

FOR BUILDING PERMIT

NO.	DATE	DESCRIPTION
1	2014-08-10	REV AS PER ROOF COMMENT FOR BUILDING PERMIT
2	2014-08-10	REV AS PER ROOF COMMENT FOR BUILDING PERMIT
3	2014-08-10	REV AS PER ROOF COMMENT FOR BUILDING PERMIT

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www.ecora.ca

NICK GAMMER

STUDIO OVER GARAGE
2570 GAMMON RD.,
NARAMA, BC

BUILDING SECTION B

SCALE:	As indicated
DATE:	SEPTEMBER 14, 2016
DRAWN BY:	KD
CHECKED BY:	KD
DATE:	SEP 15 24/ CAM
PROJECT NO.:	A3.1
REV:	6 of 6
	2