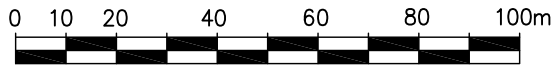


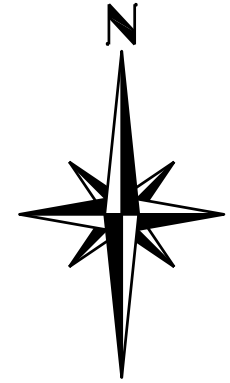
SITE PLAN OF LOT 1, DL 2710, SDYD, PLAN KAP52917

SCALE : 1: 1500



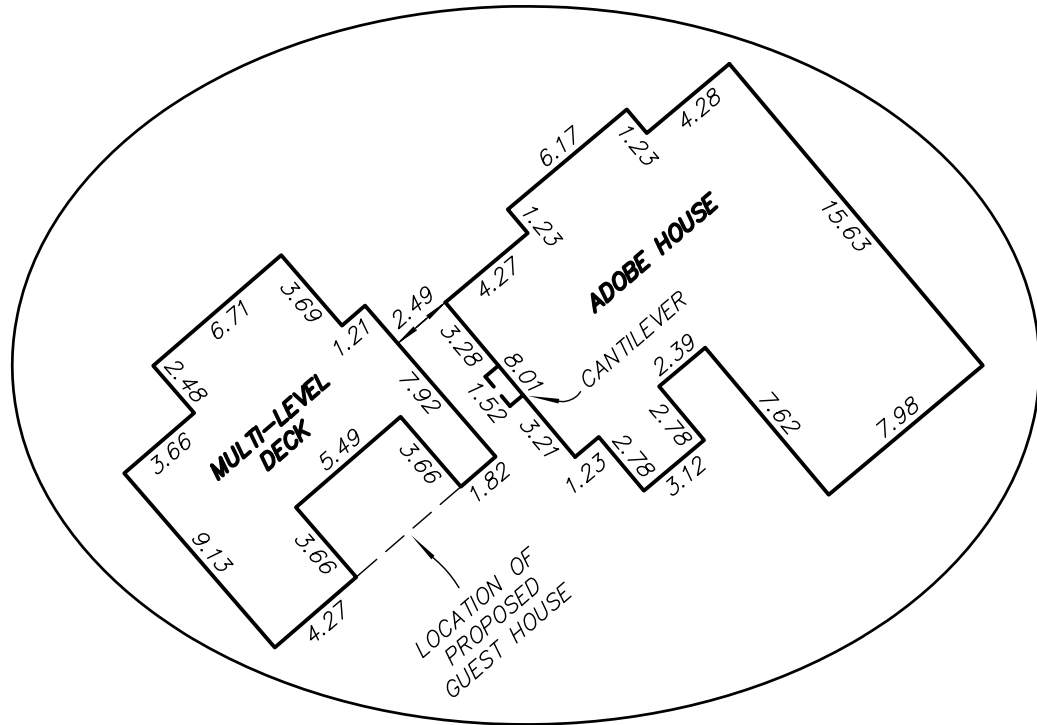
(ALL DIMENSIONS ARE IN METRES)

CIVIC ADDRESS:
2131 BEAVERDELL ROAD, PENTICTON, BC

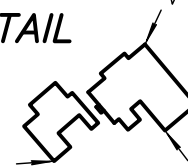


DETAIL

SCALE OF ENLARGEMENT IS 1:300
AT INTENDED PLOT SIZE OF PLAN



SEE DETAIL



THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN ALLTERRA AND OUR CLIENT. IT IS NOT TO BE USED FOR THE LOCATION OF PROPERTY LINES. WE ACCEPT NO RESPONSIBILITY FOR ANY UNAUTHORIZED USE. PROPERTY DIMENSIONS ARE ACCORDING TO LAND TITLE OFFICE RECORDS.

CLIENT: BEAUX HOME & DESIGN

SITE PLAN PREPARED ON AUGUST 1, 2023.

**ALLTERRA
LAND SURVEYING LTD.**

264 WESTMINSTER AVENUE W.
PENTICTON B.C.
V2A 1J9

TEL: 250-492-5903

WWW.ALLTERRASURVEY.CA

OUR FILE NO. 200714-0_SITE.DWG

NOTE: BLANKET DOCUMENTS ARE REGISTERED ON TITLE WHICH MAY AFFECT LAND USE:

SRW - AQUILA (FORTIS BC) - CHARGE # KT90469

SBS - CHARGE # KL28411

CARMI ROAD

10
PLAN KAP28957

BEAVERDELL

3
PLAN KAP58511

1
PLAN KAP52917

2
PLAN KAP58511

ROAD

12.862

6.948

63.642

251.903

90.100

52.0

34.679

151.663

r=93.550

q=45.064

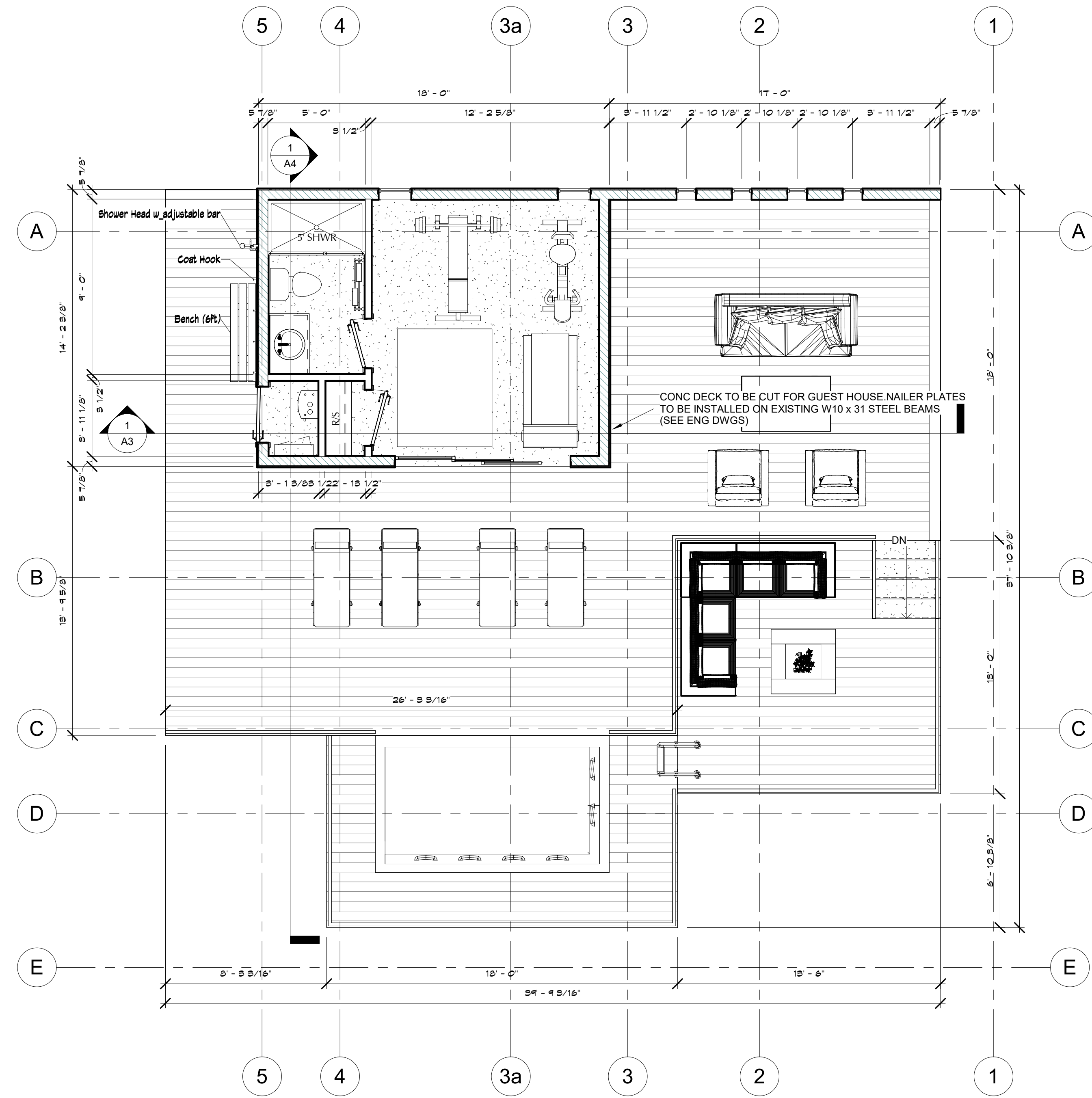
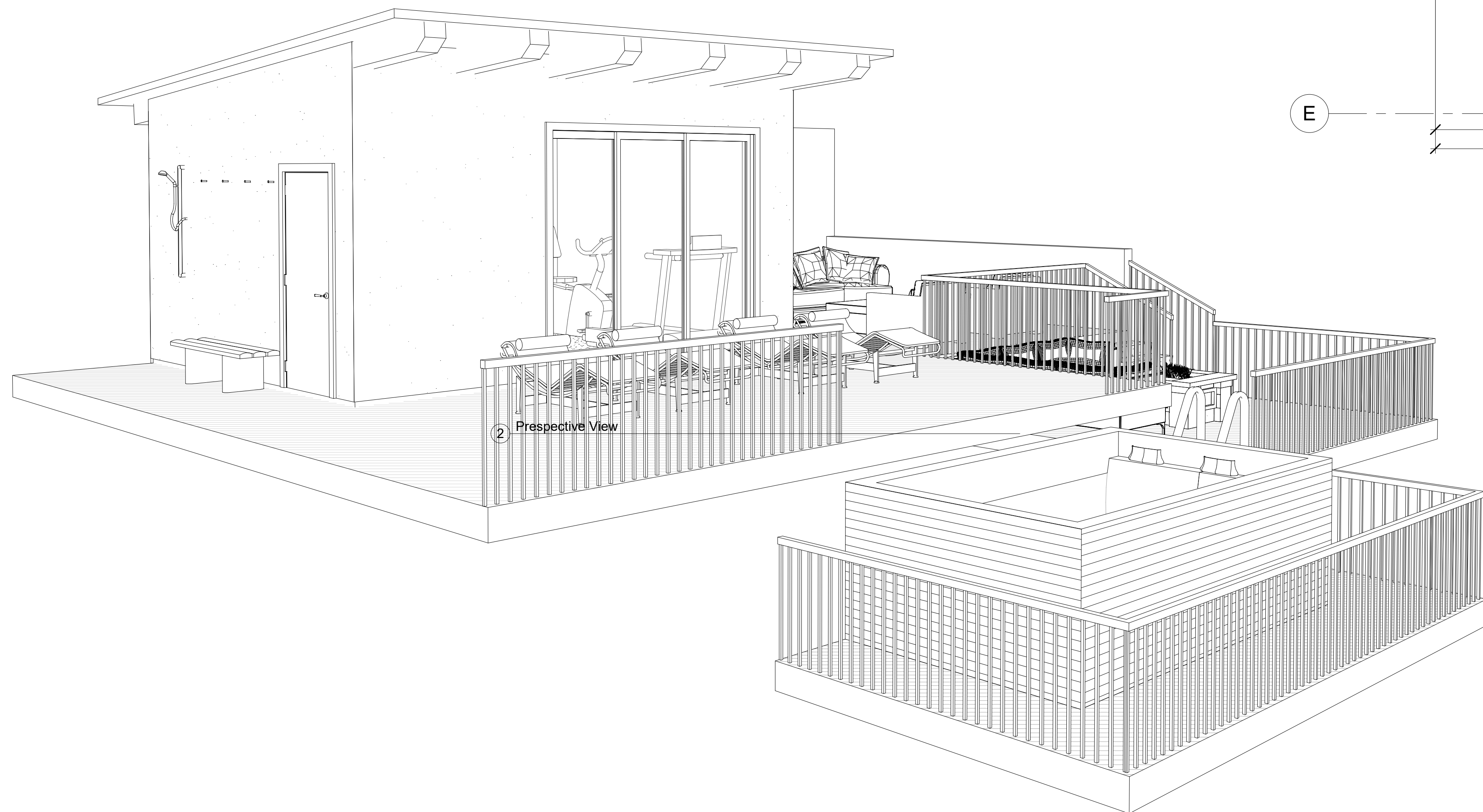
159.3

72.422

210.025

q=55.335

r=127.172



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Client: Harmati

Address: Carmi, B.C.

Project: Yoga Studio

First Floor Plan

Project number 01/Beaux/2023

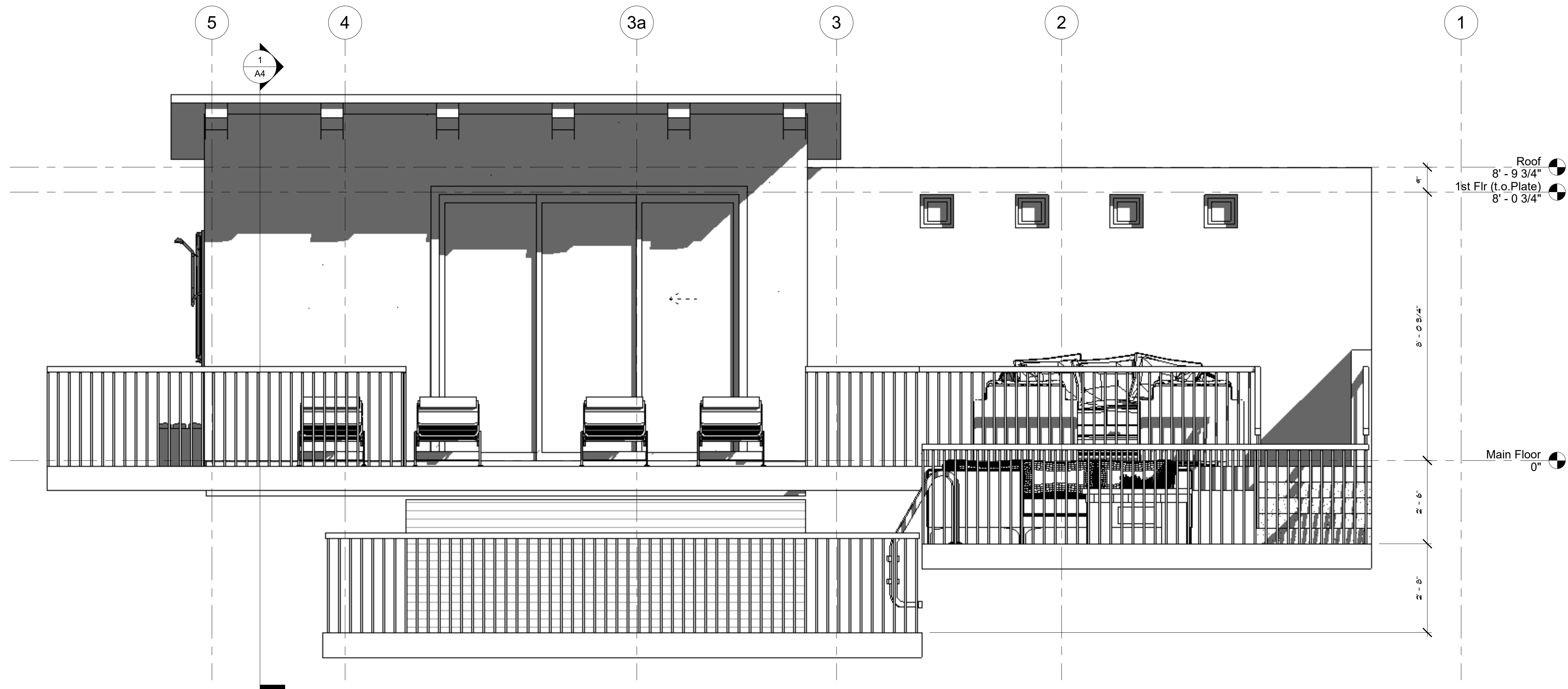
Date Feb 13/2023

Drawn by Perry.K

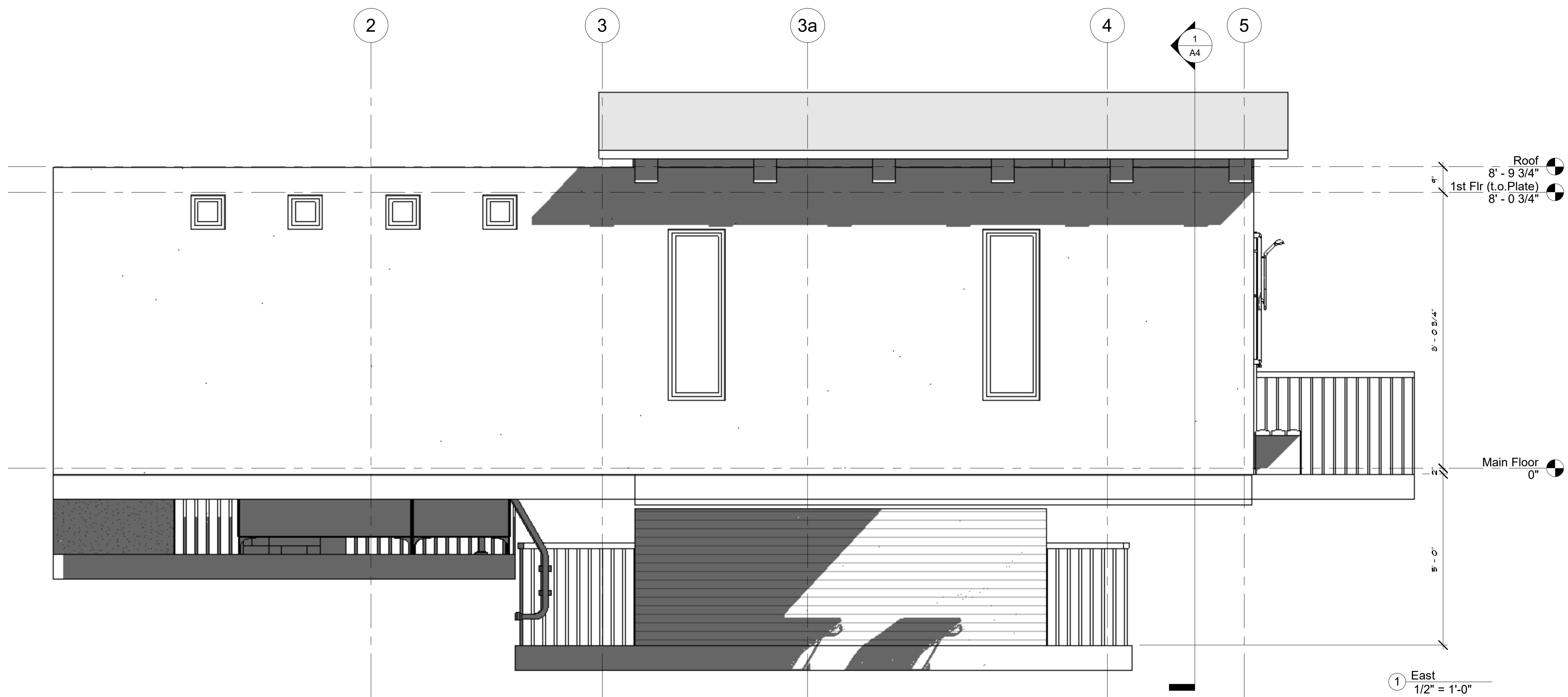
Checked by Holly.B

A1

Scale 1/4" = 1'-0"



11 West
1/2" = 1'-0"



1 East
1/2" = 1'-0"

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Client: Harmati

Address: Carmi, B.C.

Project: Yoga Studio

East & West Elevations

Project number 01/Beaux/2023

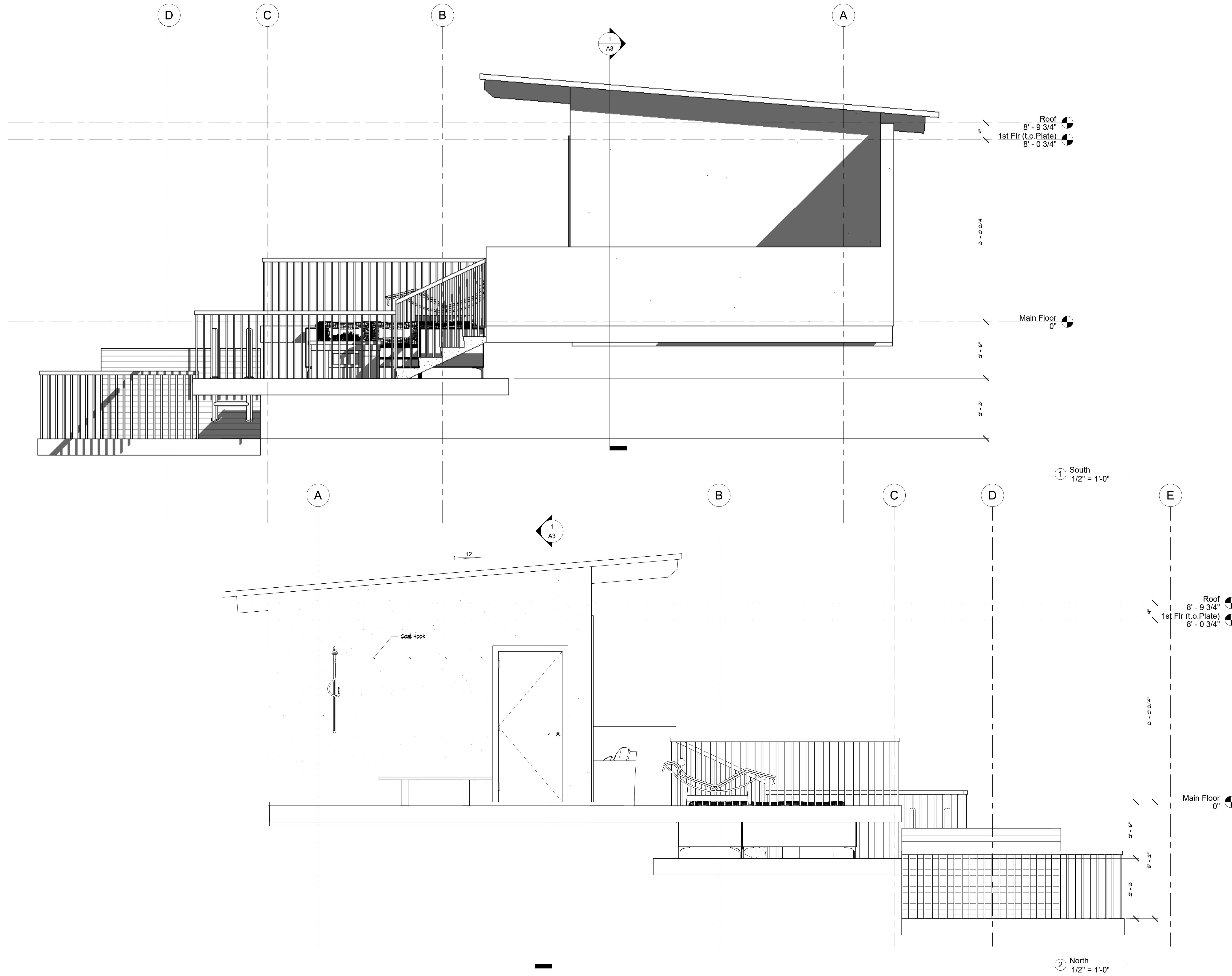
Date Feb 13/2023

Drawn by Perry.K

Checked by Holly.B

A2

Scale 1/2" = 1'-0"




BEAUX
 HOME & DESIGN

Working Set Aug 09/23

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Client: **Harmati**
 Address: **Carmi, B.C.**

Project: **Yoga Studio**

North & South Elevations

Project number: 01/Beaux/2023
 Date: Feb 13/2023
 Drawn by: Perry.K
 Checked by: Holly.B

A2.1

Scale: 1/2" = 1'-0"

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Client: **Harmati**

Address: **Carmi, B.C.**

Project: **Yoga Studio**

Building Sections

Project number **01/Beaux/2023**

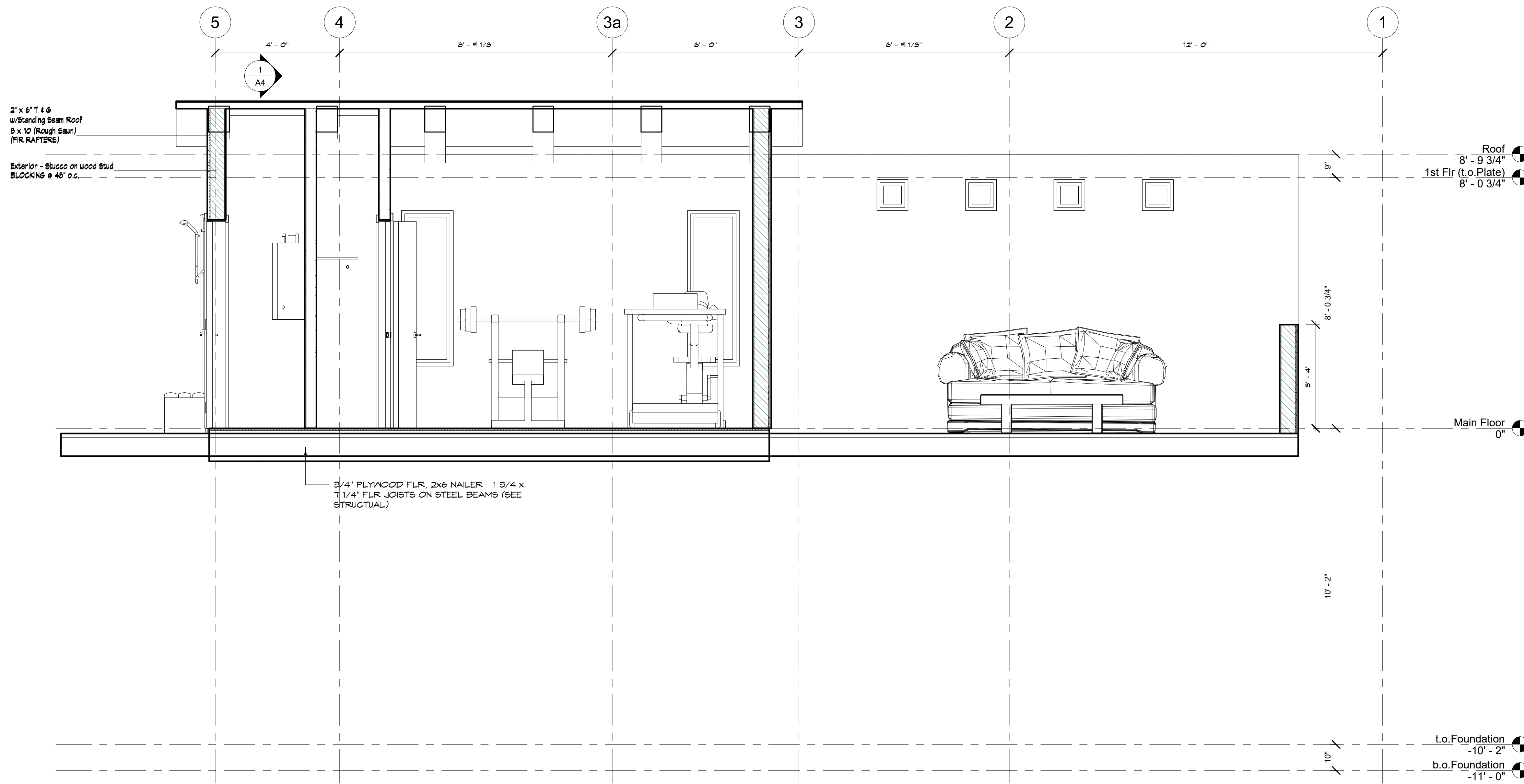
Date **Feb 13/2023**

Drawn by **Author**

Checked by **Checker**

A3

Scale **1/2" = 1'-0"**



① Section 1
1/2" = 1'-0"

General Notes:

All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building code and bylaws which may take precedence. All work shall be performed in all respects to good building practice. Written dimensions to be followed. DO NOT scale from drawings. All floor joists and beams to be SPF #2 or better or as noted. Wood in contact with concrete to be damp-proofed with 45 lb. felt, 6 mil. poly or other approved method. Plates to be anchored to concrete with 1/2" dia. anchor bolts at maximum 60" O.C. and at all corners. All soils to be inspected by a geotechnical eng. to confirm load bearing capacity, the eng. shall inspect and approve the excavated hole before placing of concrete. All measurements, grades and levels to be verified on site before commencing construction. Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval. All concrete to have a minimum compressive strength of 20 mpa at 28 days. Floor joists spans of more than 70" shall be bridged at mid-span or at 70" O.C. maximum. Bridging shall be 2x2" diagonal type cross bridging installed as required by the N.B.C. Flashing to be installed at all penetrations in roof systems and changes in roof plane. All electrical/plumbing fixturing to be verified with owner. Flashing to be installed at all changes in horizontal exterior finishings and over all unprotected openings. Caulking to be installed around all unflashed exterior openings. Flashing to be installed at all changes in horizontal exterior finishings and over all unprotected openings. Caulking to be installed around all unflashed exterior openings. Moisture resistant drywall is required around bathtubs or showers where tile is installed. Main entry door to have sidelite or viewer.

PERRY KOLEBA/ARC DRAFTING & DESIGN shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.

PERRY KOLEBA/ARC DRAFTING & DESIGN makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

INTERIOR SWING DOORS:

Rough opening is always 82 1/2" high x 2" greater than nominal door size.
EXAMPLE: 2/8 X 6/8 = 34" X 82 1/2"

INTERIOR BIFOLDS:

Rough openings for 2 panel doors are 1 1/4" greater than nominal door width & 1 1/2" greater than door height.
EXAMPLE: 3/0 X 6/8 = 37 1/4" X 81 1/2"
Rough openings for 4 panel doors are 1" greater than nominal door width and 1 1/2" greater than height.
EXAMPLE: 5/0 X 6/8 = 61" X 81 1/2"

ROOF CONSTRUCTION
-2x6 T&G ROOF DECK, BLUE SKIN MEMBRANE, 22GA METAL STANDING SEAM
(SLOPES UNDER 4/12 FEEL & STICK UNDERLAY)
-6X10 ROUGH SAWN FIR RAFTERS @ 4'-0" O.C. (HEEL CUT VARIES)

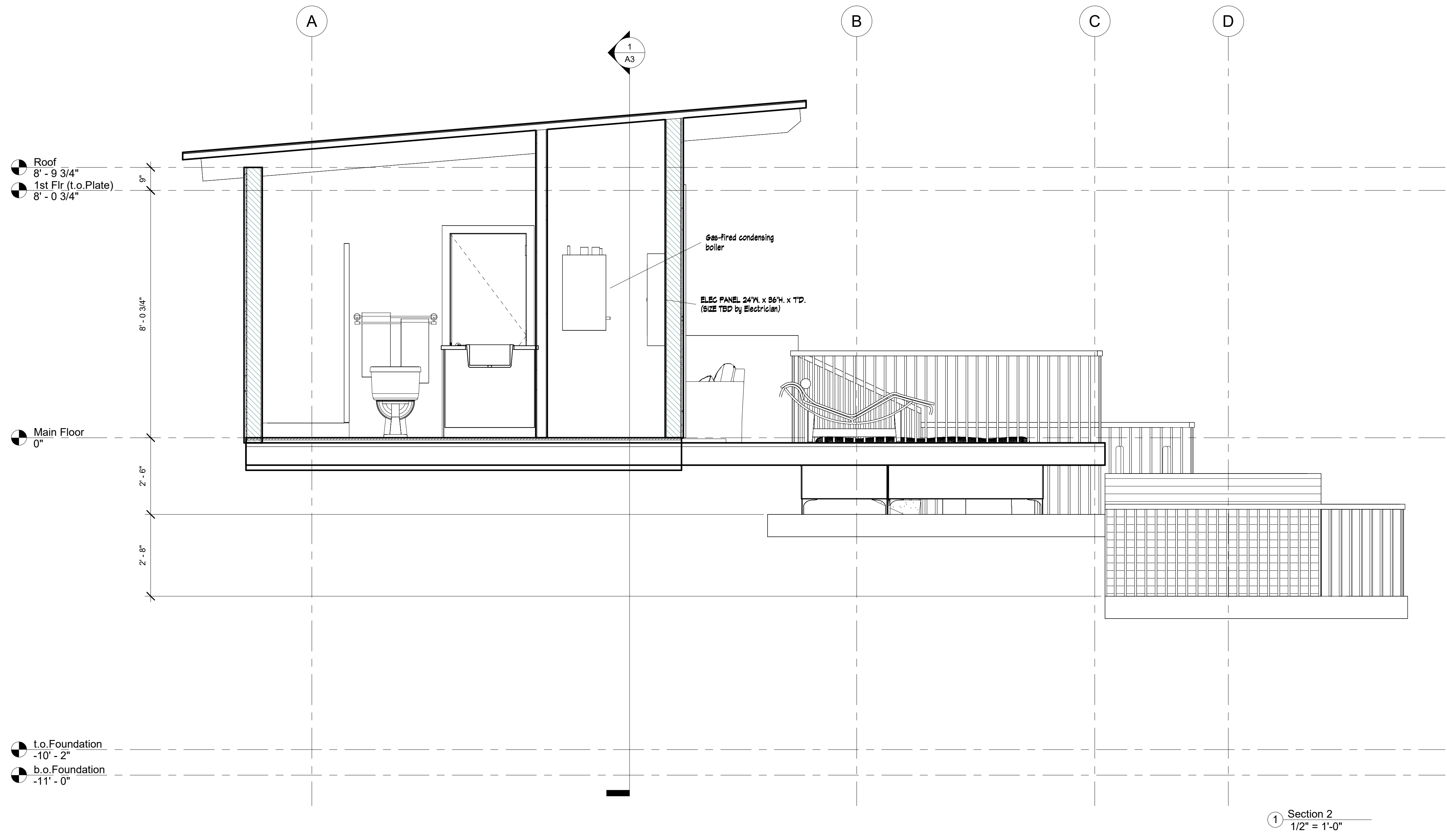
EXTERIOR WALL CONSTR
-STUCCO FINISH
-BUILDING WRAP
-3/8" SHEATHING
-R-24 INSULATION
-(2x6) @ 16" O.C. ALL FLRS
-6MIL POLY, 1/2" DRYWALL

INTERIOR WALL @ MAIN FLR
-1/2" GYPSUM BOARD TO BOTH SIDES OF 2x4 SPRUCE STUDS @ 16" O.C.

SLAB ON GRADE
-5" CONC SLAB, 25MPA, 10M REBAR @ 16" O.C.
-6 MIL POLY VAPOUR BARRIER
-4" GRAVEL BED

INTERIOR FLOOR CONSTRUCTION
-FINISHED FLOORING
-3/8" UNDERLAY (PREMIUM) @ TILE AREAS
-3/8 T.&G. FIR SUB-FLOOR, ENG FLR SYSTEM, SPACING AS PER MANUFACTURER (GLUED & SCREWNED)

NOTE:
RE FOOTINGS & FOUNDATION ALSO REFER TO ENGINEERS DRAWINGS FOR ALL FOUNDATION WALLS OVER 8'-0" HIGH



① Section 2
1/2" = 1'-0"

B
BEAUX
 HOME & DESIGN

Working Set Aug 09/23

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Client: **Harmati**

Address: **Carmi, B.C.**

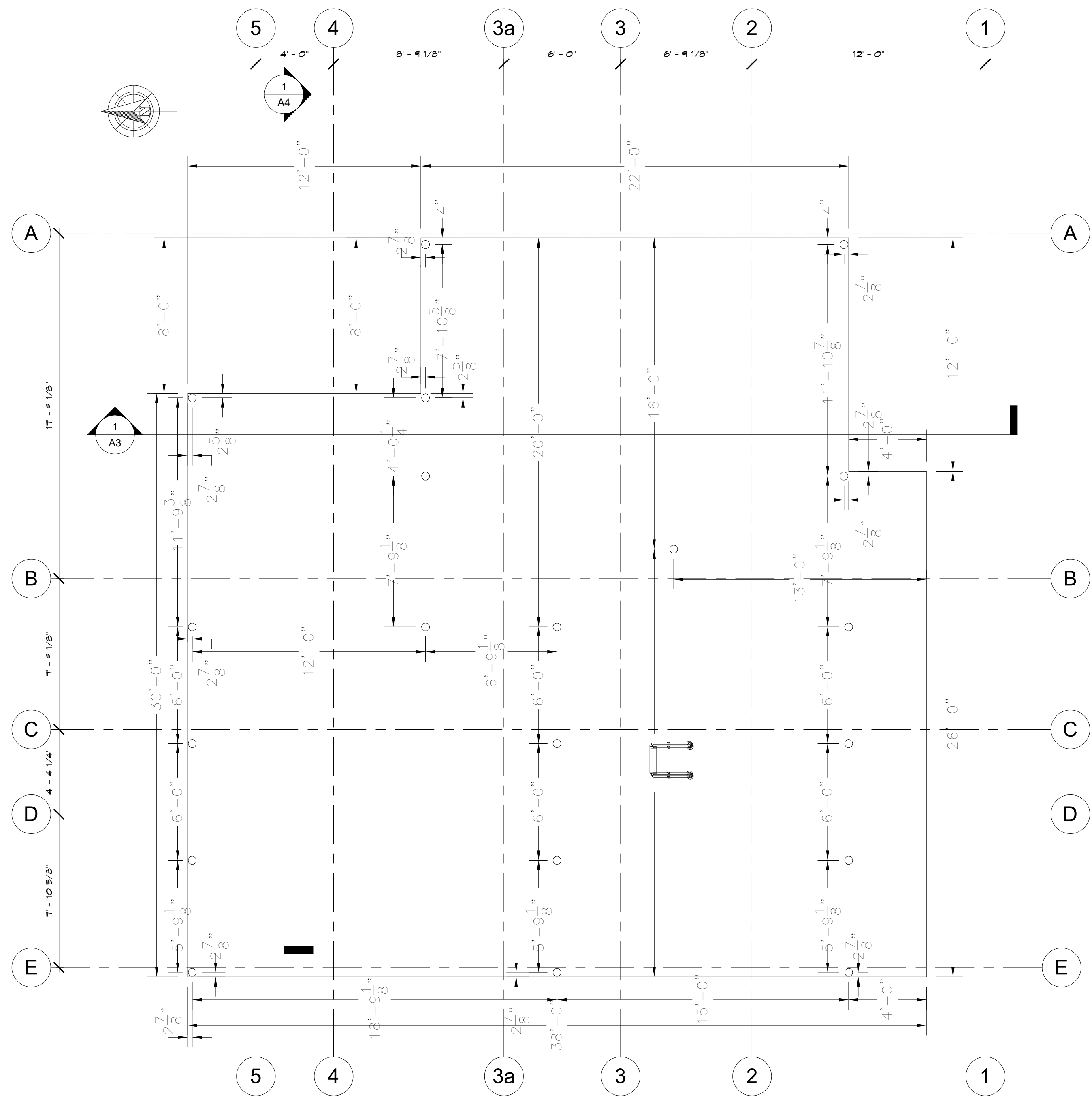
Project: **Yoga Studio**

Building Sections

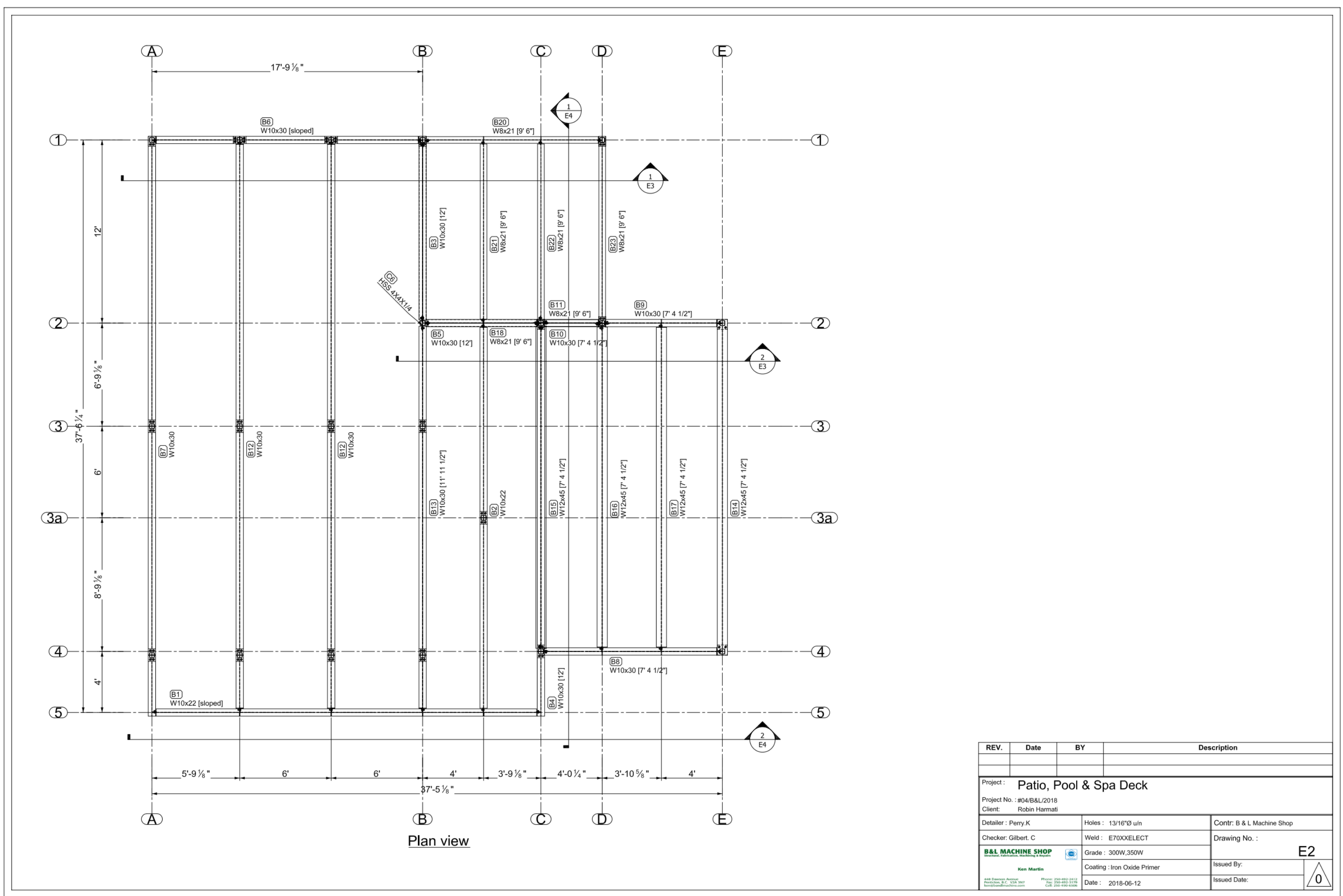
Project number: 01/Beaux/2023
 Date: Feb 13/2023
 Drawn by: Author
 Checked by: Checker

A4

Scale: 1/2" = 1'-0"



1 Lo. Foundation
1/4" = 1'-0"



Plan view

| REV | Date | BY | Description |
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|--|----------------------------|
| Project: Patio, Pool & Spa Deck | |
| Project No: 2023-08-09 | Client: Harmati |
| Detailer: Perry K | Holes: 13/16" dia |
| Checker: Gilbert C | Weld: E70XXELECT |
| Grade: 300W.350W | Coating: Iron Oxide Primer |
| Date: 2018-06-12 | Issued Date: |

BEAUX
HOME & DESIGN

Working Set Aug 09/23

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Client: **Harmati**

Address: **Carmi, B.C.**

Project: **Yoga Studio**

Foundation Plan

Project number: **01/Beaux/2023**

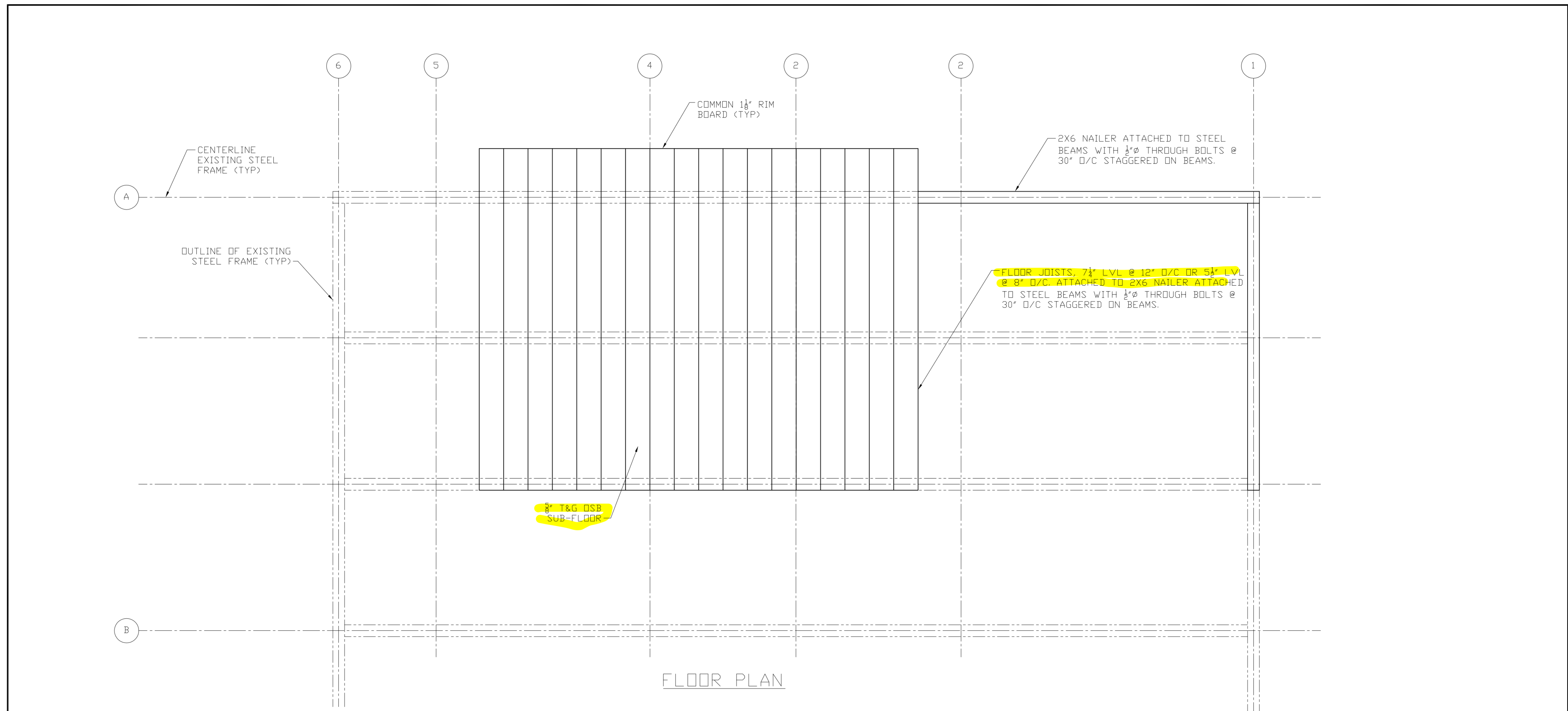
Date: **Feb 13/2023**

Drawn by: **Author**

Checked by: **Checker**

Scale: **1/4" = 1'-0"**

S0



FLOOR PLAN

| REV | DATE | BY | APP'D | DESCRIPTION OF REVISION |
|-----|-----------|-----|-------|-------------------------|
| A | MAY 10/24 | RKL | RKL | REVIEW |

Pentagon Engineering Ltd.
 142 Penrose Court
 Pentiction, BC, V2A 9B6
 Phone: (250) 809-9933
 e-mail: p-eng@outlook.com

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| DATE | DRAWN RKL | 05 | 10 | 23 |
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| BEAUX HOME DESIGN | | | | |
| HARMATI GUEST HOUSE 2131 BEAVERDELL ROAD PENTICTON, BC | | | | |
| DRAWING NUMBER | REV | | | |
| PE-2023-300 | A | | | |

BEAUX
HOME & DESIGN

Working Set Aug 09/23

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| Consultant Address Phone Fax e-mail |
| Consultant Address Phone Fax e-mail |

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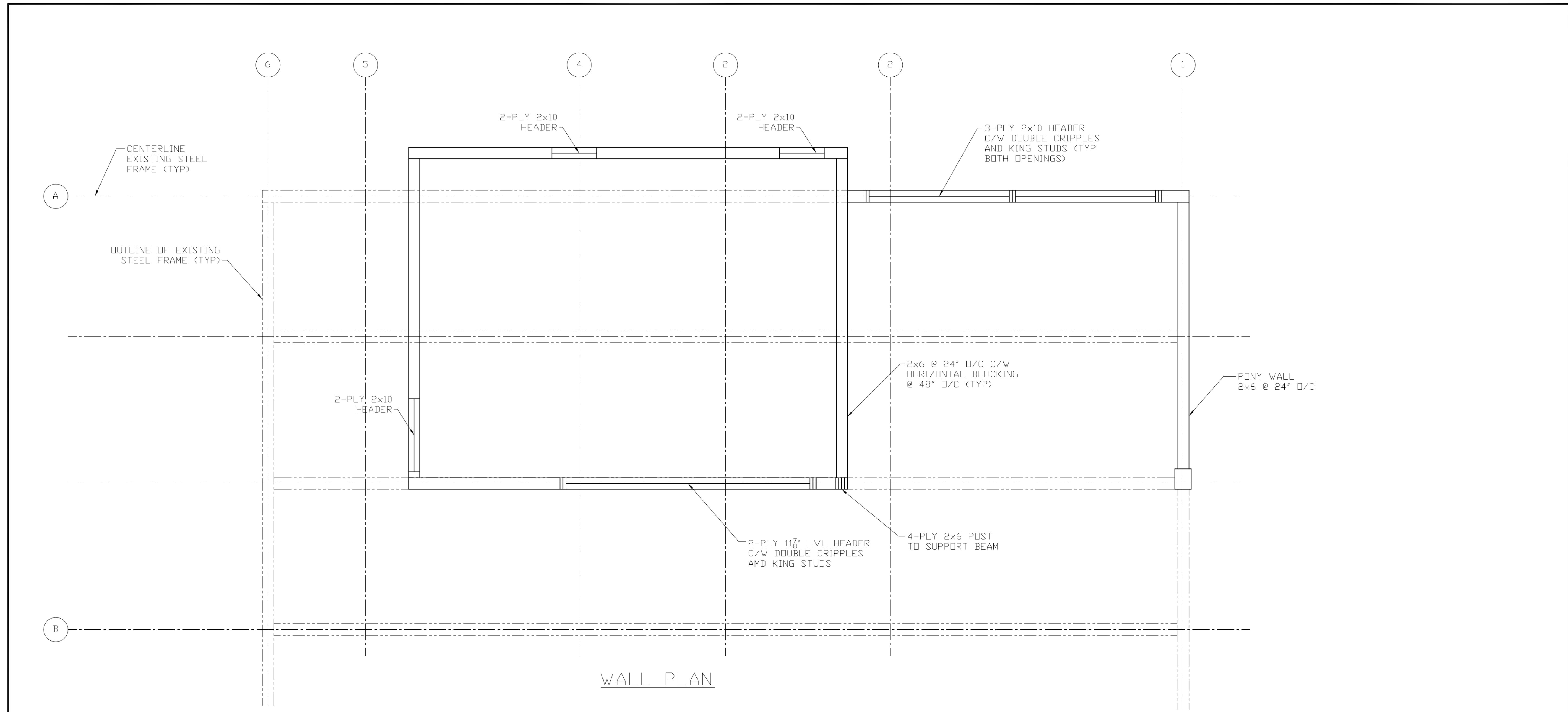
Client: **Harmati**

Address: Carmi, B.C.

Project: **Yoga Studio**

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| First Floor Framing Plan | |
| Project number | 01/Beaux/2023 |
| Date | Feb 13/2023 |
| Drawn by | Author |
| Checked by | Checker |
| S1 | |
| Scale | |

2023-08-09 1:00:16 PM



WALL PLAN


 BEAUX HOME & DESIGN
 Working Set Aug 09/23

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e-mail

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Client: **Harmati**

Address: **Carmi, B.C.**

Project: **Yoga Studio**


Wall Framing Section

Project number: 01/Beaux/2023
 Date: Feb 13/2023
 Drawn by: Author
 Checked by: Checker

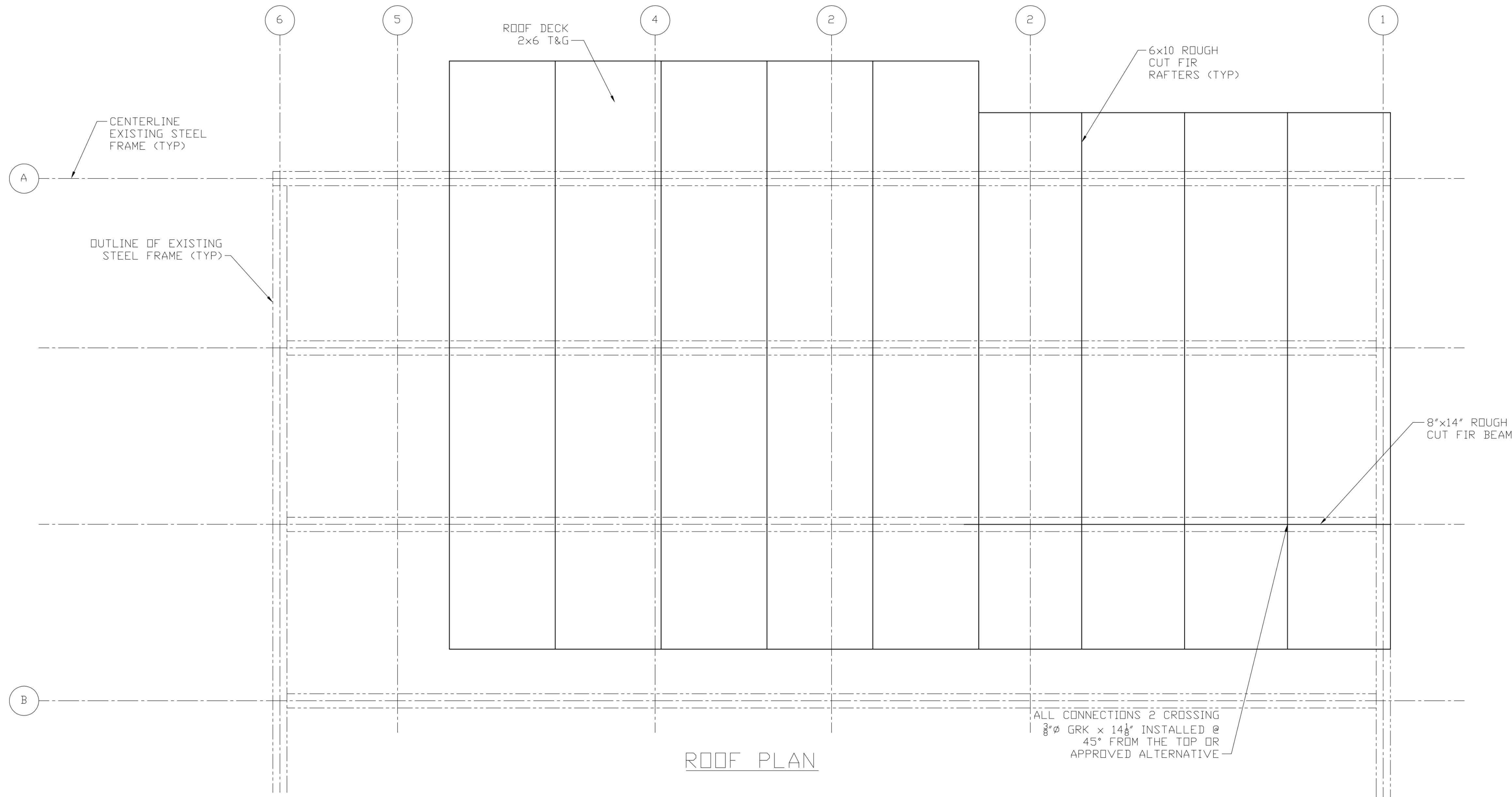
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| BEAUX HOME DESIGN | | |
| HARMATI GUEST HOUSE 2131 BEAVERDELL ROAD PENTICTON, BC | | |
| DRAWING NUMBER | REV | |
| PE-2023-301 | A | |


Pentagon Engineering Ltd.
 142 Penrose Court
 Penticton, BC, V2A 9B6
 Phone: (250) 809-9933
 e-mail: p-eng@outlook.com

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ROOF PLAN

ALL CONNECTIONS 2 CROSSING
 $\frac{3}{8}$ " GRK x 14 $\frac{1}{2}$ " INSTALLED @
 45° FROM THE TOP OR
 APPROVED ALTERNATIVE

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| APPROVED | SCALE 1/2"=1'(UNO) | MO | DAY | YR. |
| DATE | DRAWN RKL | 05 | 10 | 23 |
| PROJECT | CHK'D | | | |
| | APP'D | | | |
| | APP'D | | | |

BEAUX HOME DESIGN
 HARMATI GUEST HOUSE
 2131 BEAVERDELL ROAD
 PENTICTON, BC
 DRAWING NUMBER PE-2023-302 REV A

Pentagon Engineering Ltd.
 142 Penrose Court
 Penticton, BC, V2A 9B6
 Phone: (250) 809-9933
 e-mail: p-eng@outlook.com

| REV | DATE | BY | APP'D | DESCRIPTION OF REVISION |
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| A | MAY 10/24 | RKL | RKL | REVIEW |

BEAUX HOME & DESIGN
 Working Set Aug 09/23

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Client: **Harmati**

Address: **Carmi, B.C.**

Project: **Yoga Studio**

Roof Framing

Project number **01/Beaux/2023**

Date **Feb 13/2023**

Drawn by **Author**

Checked by **Checker**

Scale **S3**